

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: November 17, 2022

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Non-Conforming Use Permit, pursuant to Section 6133 and 6137 of the County Zoning Regulations, to allow within the required front yard setback the construction of a storage area below a proposed garage and a deck to provide access to existing and proposed development on a non-conforming parcel. The property is located at 164 Pecora Way, in the unincorporated Ladera area of San Mateo County.

County File Number: PLN 2021- 00456 (Terpening)

PROPOSAL

The applicant is proposing an addition and remodel to the existing residence. The project includes (1) the demolition and reconstruction of an existing detached garage, (2) construction of an accessory dwelling unit, (3) new decking to provide access to the structures, and (3) construction of a new entryway. A Use Permit is required because the proposed garage is two-stories where one is allowed and the lower floor storage below the parking area is located within the required front yard setback. While the garage itself is allowed within the front yard setback due to the parcel's slope, the proposed storage area below the garage is not allowed within the front yard setback area. The proposed deck also requires the Use Permit as it will also encroach into the required front setback. The proposed deck will provide access between the proposed garage and main house and will connect with an existing non-conforming deck (also located within the front yard setback).

RECOMMENDATION

That the Zoning Hearing Officer approve the Non-Conforming Use Permit, County File Number PLN 2021-00456, by making the required findings and adopting the conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Angela Chavez, Senior Planner

Applicant: David W. Terpening, AIA

Owner: Kevin and Junean Lanigan

Public Notification: Ten (10) day advanced notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the hearing posted in a newspaper (San Mateo Times) of general public circulation.

Location: 164 Pecora Way, Ladera

APN: 077-143-030

Size: 14, 091 sq. ft.

Existing Zoning: R-1/S-104 (Single-Family Residential/14,000 sq. ft. minimum parcel size)

General Plan Designation: Medium Low Density Residential (2.4-6.0 dwelling units/acre)

Sphere-of-Influence: Portola Valley

Existing Land Use: Single-Family Residential

Water Supply: The subject property has an existing municipal water connection. The project site is currently and will continue to be served by California Water Service Company (Bear Gulch Division).

Sewage Disposal: The subject property has an existing municipal sewer connection. The project site is currently and will continue to be served West Bay Sanitary District.

Flood Zone: Zone X (Areas defined as an area of minimal flood hazard risk). FEMA Community Panel Number: 06081C0314E, dated October 16, 2012.

Environmental Evaluation: Categorically exempt per Section 15301, Class 1 of the California Environmental Quality Act, for additions to existing structures where an addition does not result in an increase of more than 50 percent of the existing floor area or 2,500 sq. ft., whichever is less.

Setting: The project site is located approximately 1/2 mile from Alpine Road. The subject parcel is currently developed with a single-family residence and detached garage on a downward sloping lot. The property is bordered by a single-family residential development on all sides.

Chronology:

<u>Date</u>	<u>Action</u>
November 29, 2021	- Application Submitted
September 28, 2022	- Application Deemed Complete
November 17, 2022	- Zoning Hearing Officer Meeting

DISCUSSION

A. KEY ISSUES

1. Conformance with General Plan

Staff has reviewed the project for conformance with the policies contained in the General Plan and has determined that the project is in conformance with the Visual Quality chapter. The policies applicable to this project include the following:

Policy 4.35 (*Urban Area Design Concept*) calls for the maintenance and improvement of the appearance and visual character of development in urban areas and that proposed development contributes to the orderly and harmonious nature of the locality. Given that the subject parcel is already developed, the applicant has chosen to continue the materials and design of the existing house in order to maintain consistency with the appearance and visual character of the property. While there is not a dominate design aesthetic in the overall neighborhood, the continuation of the existing design also contributes to the orderly and harmonious nature of the locality. The requested exceptions to the zoning regulations continue an existing non-conforming situation on the parcel and allow for the orderly development of the site.

Policy 4.25 and 4.28 (*Earthwork Operations/Trees and Vegetation*) calls for the minimization of grading or earth-moving operations and to preserve trees and natural vegetation. The proposed project site slopes downward from the street with only the upper floor of the residence visible from the street. The existing garage will be replaced with a new garage in a similar location which minimizes earthwork associated with the project. Additions to the main house are complementary to the existing development and avoid significant earthwork. No significant trees are proposed for removal as part of the project.

2. Conformance with Zoning Regulations

As shown in the table below the proposed project is compliant with the allowable site coverage, floor area, height, side yard setbacks, and rear yard setback. The subject is non-conforming in size, the garage is two-stories, and the area below the garage does not adhere to the front yard setback requirement for residences.

a. S-104 Zoning Regulations

	A	B	C
	S-104 Standards	Existing	Proposed
Minimum Lot Size	16,000 sq. ft.	14, 091 sq. ft.*	No Change*
Maximum Building Site Coverage	30% or 4,227.3 sq. ft.	2,770 sq. ft.	3,935 sq. ft.
Maximum Building Floor Area	3,409.1 sq. ft.	2,399 sq. ft.	3, 288 sq. ft.
Minimum Front Setback	15 feet (Garages) 25 feet (Residences)	0 feet (Garage) 17'-3" (Residence)	0 feet (Garage) 8'-7" (Lower Floor Garage) * 15 feet (Residence)
Minimum Side Setback	8 feet	8 feet (left) > 8 feet (right)	8 feet (left) 8 feet (right)
Minimum Rear Setback	20	>20'	>20'
Maximum Building Height	30 feet (Main House) 26 feet (ADU)	25 feet 2 inches (Main House)	No Change for Main House 25.5 feet for ADU
Parking Spaces	2 covered	2 covered	No Change
*Indicates a Non-Conformity to the required standard			
**The front setback is conforming as the slope of the front half of the parcel is greater than 1:7 (Section 6411.a).			

b. Zoning Non-Conformities Regulations

Section 6133 and 6137 of the County Zoning Regulations allows exceptions to the provisions of the Zoning Nonconformities chapter which would otherwise restrict the enlargement of a non-conforming structure, with the issuance of a Use Permit. See chart above for details on the non-conforming aspects of the proposed project and the Use Permit findings below in Section 4.

3. Conformance with Use Permit

As previously stated, Sections 6133 and 6137 of the County Zoning Regulations allows the proposed enlargement of a non-conforming structure on a non-conforming parcel which does not conform with the zoning regulations currently in effect with the issuance of a Use Permit. The existing residence is considered legal non-conforming due to previous construction that allowed development to encroach into the front yard setback. While the overall project conforms to the Zoning Regulations currently in effect, the proposed construction of the two-story garage, the lower floor storage area encroachment into the front yard setback, and the deck connecting existing and proposed development which will further encroach into the front yard setback, do not conform. However, per Sections 6133 and 6137.1, exceptions to the enlargement of non-conformities are allowed with the issuance of a Use Permit. In order to approve a Use Permit the following findings must be made:

a. **The proposed development is proportioned to the size of the parcel on which it is being built.**

Parcel coverage and building floor area are generally the two requirements utilized to determine a project's proportionality to the parcel on which it is built. The project was found to be consistent with this finding as it conforms to the allowable parcel coverage and building floor area of the S-104 Zoning District (Section 2.a of this report).

b. **All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.**

All adjacent parcels are currently developed. Acquiring additional land in order to conform is infeasible due to the development pattern of the neighborhood and to avoid the creation of additional non-conformities on the adjacent parcels.

- c. **The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.**

The subject project is in substantial conformance with the zoning regulations currently in effect. As noted, the project conforms to the allowable parcel coverage, building floor area, side and rear yard setbacks, height, and required covered parking spaces. The downward slope of the parcel limits the impacts of the front yard encroachments as they are not visible from the street.

- d. **The establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood.**

The project parcel is not located within the coastal zone and therefore poses no risk to coastal resources. The proposed development will conform to parcel coverage, allowable building floor area, height, side yard setbacks, and rear yard setbacks. However, the proposed development is not compliant with the required front yard setback and number of stories allowed for a detached accessory structure. While the subject parcel is of adequate size to support the proposed development, the availability of buildable locations is restricted by the slope of the parcel and by the manner in which the parcel was originally developed. Therefore, the project's overall compliance with the development standards helps to maintain an appropriate proportionality between the proposed development and the size of the parcel. While exceptions are necessary to allow the proposed project, the applicant has sought to minimize impacts to adjacent properties by maintaining the required side yard setbacks and focusing the proposed development toward the front of the parcel where it has minimal visual impacts due to the downward slope of the parcel. The lower floor of the garage will not be visible from the street and the expanded deck only continues an existing condition which is minimally visible from the street. By locating the proposed development in this manner encroachments into conforming areas is avoided and avoids impacts to neighboring properties. The project improvements are limited to the project site and there is no aspect that would be expected to be detrimental to the public welfare or injurious to property or improvements in the said neighborhood. The project was also reviewed by all responsible agencies, including the Department of Public Works and Woodside Fire Protection District, and has received conditional approval from each. Staff has added conditions to prevent the discharge of any soils or construction materials into the public right-of-way/neighboring properties and to minimize any erosion and

runoff impacts resulting from the project. The project, as conditioned, will not create any significant visual or erosion impacts and is compatible with development in the neighborhood.

e. **Use permit approval does not constitute a granting of special privileges.**

The approval of this project does not constitute a granting of special privileges as the existing single-family residence was built legally in 1962 prior to the adoption of the S-104 Zoning District regulations that are currently in effect. To adhere to the zoning regulations that are applicable to the property at this time is infeasible due to the constraints associated with the slope of the parcel and the way the property was originally developed. The majority of the surrounding parcels have a similar development pattern as the subject property and are likely also non-conforming due their placement on the property. Future additions to these properties will also likely trigger exceptions given the current zoning regulations.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt from environmental review under Section 15301, Class 1, of the California Environmental Quality Act (CEQA) which allows for additions to existing structures.

C. REVIEWING AGENCIES

Drainage Section
Department of Public Works
Geotechnical Section
Woodside Fire Protection District

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Project Plans

ACC:cmc – ACCGG0356_WCU.DOCX

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2021-00456 Hearing Date: November 17, 2022

Prepared By: Angela Chavez,
Senior Planner

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That this project is exempt from CEQA, under Section 15301 (Class 1) of the CEQA Guidelines, regarding minor additions to existing structures.

Regarding the Use Permit, Find:

2. The proposed development is proportioned to the size of the parcel on which it is being built. The project conforms in substantial conformance with the applicable development standards and more specifically with the allowable parcel coverage and building floor area of the S-104 Zoning District
3. All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible. All adjacent parcels are currently developed. Acquiring additional land in order to conform is infeasible due to the development pattern of the neighborhood and to avoid the creation of additional non-conformities on the adjacent parcels.
4. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible. The project conforms to the allowable parcel coverage, building floor area, side and rear yard setbacks, height, and required covered parking spaces. The downward slope of the parcel limits the impacts of the front yard encroachments as they are not visible from the street.

5. The establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood. As proposed and conditioned, the proposed project will be contained entirely on the subject property and is designed to remain consistent with the existing development on the parcel and within the neighborhood. The proposed project does not pose a detriment to public welfare or neighboring properties. The project will have no impact on coastal resources, as the property is not located within the Coastal Zone.
6. Use permit approval does not constitute a granting of special privileges. The approval of this project does not constitute a granting of special privileges as the existing single-family residence was built legally in 1962 prior to the adoption of the S-104 Zoning District regulations that are currently in effect. To adhere to the zoning regulations that are applicable to the property at this time is infeasible due to the constraints associated with the slope of the parcel and the way the property was originally developed.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted to and approved by the Zoning Hearing Officer on November 17, 2022. Minor revisions or modifications may be approved by the Community Development Director if they are consistent with the intent of and in substantial conformance with this approval.
2. This Use Permit shall be for the proposed project only. Any change or change in intensity of use shall require an amendment to the Use Permit. Amendments to this Use Permit require an application for amendment, payment of applicable fees, and consideration at a public hearing.
3. The Use Permit final approval shall be valid for one (1) year from the date of approval, in which time a building permit shall be issued. If a building permit has not been issued within this time period, the Use Permit approval will expire. The Community Development Director will consider an extension of this approval upon written request and payment of the applicable fees sixty (60) days prior to the permits' expiration.
4. Prior to the issuance of the building permit the applicant shall submit an erosion and sediment control plan which includes construction staging (i.e., location of material storage, portable toilet, concrete wash-out, path of travel, etc.) for review and approval by the Current Planning Section.

5. Prior to beginning any construction activities, the applicant shall implement the approved erosion and sediment control plan, which shall be maintained throughout the duration of the project. Erosion control measure deficiencies, as they occur, shall be immediately corrected. The goal is to prevent sediment and other pollutants from leaving the project site and to protect all exposed earth surfaces from erosive forces. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program “General Construction and Site Supervision Guidelines,” including:
 - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
 - b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - d. Using sediment controls or filtration to remove sediment when dewatering the site and obtaining all necessary permits.
 - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
 - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - h. Performing clearing and earth-moving activities only during dry weather.
 - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilizing designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.

Woodside Fire Protection District (WFPD)

13. At start of construction a 2-foot by 3-foot address sign will be posted at the front of project parcel.
14. At time of final the permanent address will be mounted and clearly visible from street with a minimum of 4-inch numbers on contrasting background.
15. 100 feet defensible space from structure required prior to start of construction.
16. Upon final inspection 50-foot perimeter property line defensible space will be required per WFPD ordinance section 304.1.2.A
17. Approved spark arrestor will be required on all installed chimneys including outside fireplaces.
18. Install Smoke and CO detectors per 2019 CBC.
19. NFPA 13D Fire Sprinkler System not required, not installed in main house.
20. Driveway as proposed must meet WFPD standards. If driveway dimensions are revised during construction, it must maintain compliance with WFPD standards.

Department of Public Works

21. The project shall comply with the San Mateo County Drainage Policy and the San Mateo Countywide National Pollution Discharge Elimination System (NPDES) permit. Prior to the issuance of the building permit or planning permit (for Provision C3 Regulated Projects), the applicant shall submit a plan with construction details conforming with County standards, and a drainage analysis including narrative and calculations showing pre-development and post-development runoff onto and off of the parcel(s) demonstrating compliance with the Policy for review and approval by the Department of Public Works.
22. Prior to the issuance of the building permit or planning permit (if applicable), the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

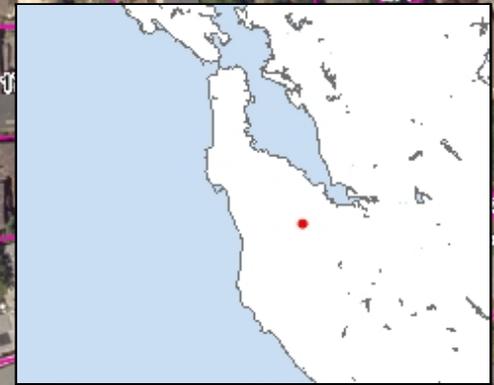
23. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
24. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



Project Location

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,257

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

**LANIGAN RESIDENCE
164 PECORA WAY
MENLO PARK, CA
94028**

APPLICABLE CODES
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING CODE

REVISIONS	BY
△ USE PERMIT 6/6/22	

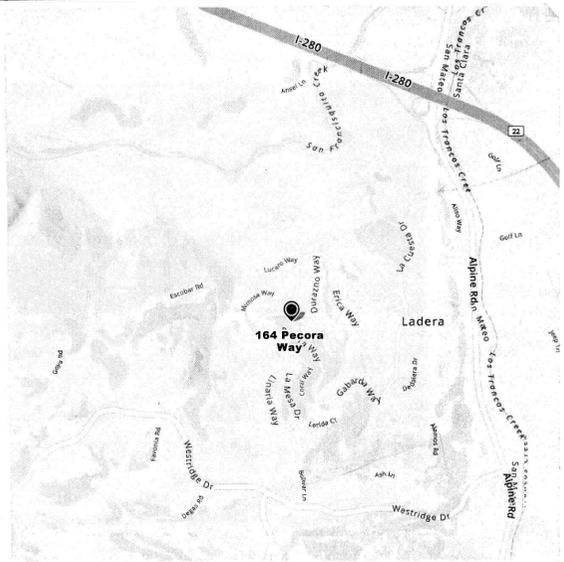
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David W. Terpening Architect A.I.A. Inc.
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**LANIGAN RESIDENCE
164 PECORA WAY
PORTOLA VALLEY, CA. 94028**

DRAWN DWT
CHECKED
DATE 10/21/21
SCALE
JOB NO.
SHEET T-1
OF SHEETS

VICINITY MAP



CONSULTANTS

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PROJECT DATA

LOCATION: 164 PECORA WAY
PORTOLA VALLEY, CA. 94028

SCOPE OF WORK: REMODEL OF EXISTING 2-STORY RESIDENCE,
AN ADDITION OF A TWO STORY, ATTACHED
ACCESSORY DWELLING UNIT (ADU) AND A
NEW DETACHED 2 CAR GARAGE

OCCUPANCY GROUP: R-3/U SINGLE FAMILY

TYPE OF CONSTRUCTION: V-B

A.P.N.: 077-143-030

ZONING: R-1/S-104

LOT SIZE: 14,091.00

MAXIMUM FLOOR AREA: 3,409.00 SQ. FT. = .10(14,091SF - 8,000SF) + 2,800 SF

FLOOR AREAS:

1) MAIN RESIDENCE:

A) EXISTING LOWER LEVEL: 920.00 SQ. FT.
B) EXISTING MAIN LEVEL: 1,550.00 SQ. FT.
SUBTOTAL: 2,399.00 SQ. FT.

2) PROPOSED ADU: (actual) 829.00 SQ. FT. (800 sq. ft. of ADU exempt from FAL)
TOTAL: 3,228.00 SQ. FT.

3) GARAGE: 397.00 SQ. FT. (N/A Floor Area Limit < 400 sq. ft.)

SETBACKS REQUIRED:
MAIN BUILDING AND ADU: FRONT: 25'-0"
REAR: 20'-0"
SIDES: 8'-0"

MAXIMUM HEIGHT ALLOWED:
1) MAIN RESIDENCE: 30'-0" (SLOPE >15%)
2) ADU: 26'-0"

MAXIMUM COVERAGE ALLOWED:
BUILDING HT. 20' or greater = 30% = 4,227.00 Sq. Ft.

ACTUAL COVERAGE:

1) STRUCTURES (Including ADU) = 2,110.50 SQ. FT. (ADU coverage exempt 456.50)
2) DECK AREAS > 18" ABV. GRADE = 1,824.50 SQ. FT.
TOTAL = 3,935.00 SQ. FT.

SHEET INDEX

- T-1 TITLE SHEET
- SU-1 SITE SURVEY AND TOPOGRAPHY PLAN
- SU-2 PROPOSED ARCHITECTURAL SITE PLAN
- C-1 CIVIL GRADING AND DRAINAGE NOTES
- C-2 CIVIL SECTIONS AND DETAILS
- C-3 CIVIL GRADING AND DRAINAGE PLAN
- C-4 CIVIL EROSION CONTROL PLAN
- C-5 CIVIL EROSION CONTROL DETAILS
- A-1 LOWER LEVEL FLOOR PLAN MAIN RESIDENCE AND ADU
- A-2 MAIN LEVEL FLOOR PLAN MAIN RESIDENCE, ADU AND GARAGE
- A-3 ROOF PLAN MAIN RESIDENCE, ADU AND GARAGE
- A-4 EXTERIOR ELEVATIONS MAIN RESIDENCE AND ADU
- A-5 EXTERIOR ELEVATIONS MAIN RESIDENCE AND ADU
- A-6 EXTERIOR ELEVATIONS GARAGE
- A-7 LOWER LEVEL DECK AND PATIO PLAN
- A-8 MAIN LEVEL DECK AND PATIO PLAN



LOT 410

TRACT NO. 770 LADERA UNIT NO. 8
BOOK 50 MAPS 28

LOT 409

BASIS OF BEARINGS

BEARINGS SHOWN HEREON TAKEN FROM "TRACT NO. 770 LADERA UNIT NO. 8" WHICH WAS FILED FOR RECORD IN BOOK 50 OF MAPS PAGE 28 ON JANUARY 29, 1959, SAN MATEO COUNTY RECORDS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM.
SITE BENCHMARK IS THE SANITARY SEWER MANHOLE LID WITH AN ASSUMED ELEVATION OF 200.00 FEET.

NOTES:

BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 55907-51070347, AS TITLE REFERENCE FOR ALL EASEMENTS OF RECORD PLOTTED HEREON.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtssurveying.com

DATE OF FIELD SURVEY: MAY 8, 2020
JOB NUMBER: 20-049

LEGEND

- 1" IP WITH TAG AND TACK "RE 5476" IN HANDHOLE
- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT. LATERAL
- LG LIP OF GUTTER
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SLV STREET LIGHT VAULT
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE

LOT 411

EXISTING RESIDENCE

LOT 408

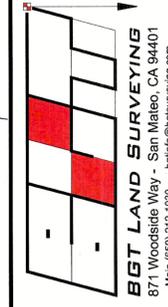
APN 077-143-030

14,091 SQ. FT.±

PECORA WAY

LOT 407

EXISTING RESIDENCE



BOUNDARY AND TOPOGRAPHIC SURVEY
LOT 408, "TRACT NO. 770 LADERA UNIT NO. 8" (BOOK 50 MAPS 28)
164 PECORA WAY
LADERA, UNINCORPORATED COUNTY OF SAN MATEO, CALIFORNIA

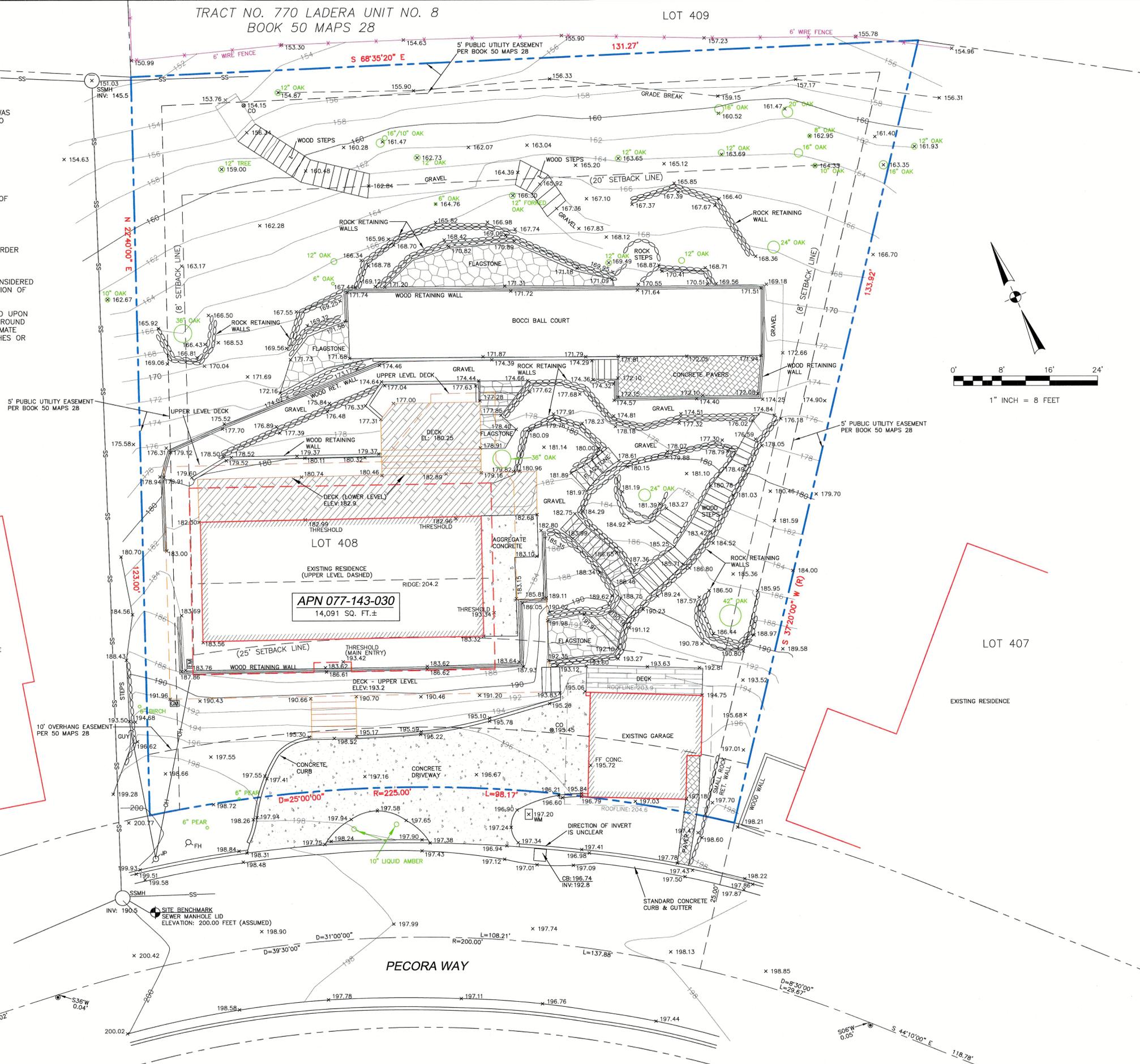
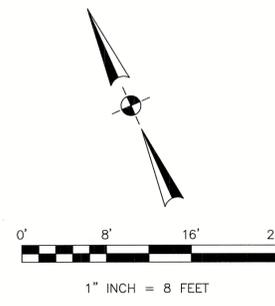
Assessor Parcel Number:
077-143-030

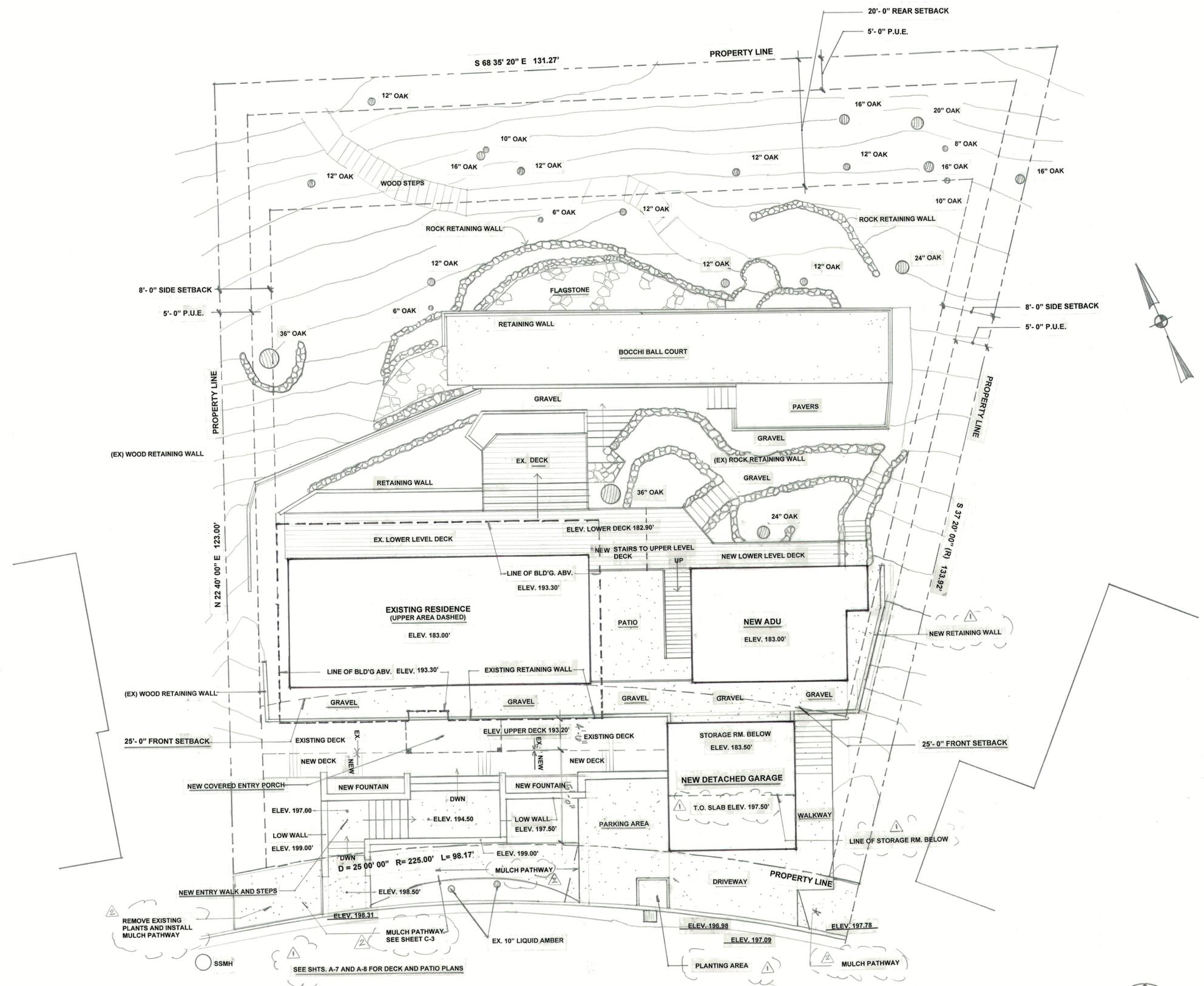
Prepared For:
KEVIN LANIGAN
164 PECORA WAY
PORTOLA VALLEY, CA 94028

Date: MAY 2020
Scale: 1" = 8'
Contour Interval: 2'
Drawn by: LHL

Revisions:
SU-1

Job No. 20-049





PECORA WAY

SEE SHEET A-7 FOR LOWER LEVEL DECK AND PATIO PLAN
 SEE SHEET A-8 FOR UPPER LEVEL DECK AND PATIO PLAN
 SEE SHEET C-3 FOR GRADING AND DRAINAGE PLAN



SITE PLAN

REVISIONS	BY
1 USE PERMIT 6/6/22	
2 PUBLIC WORKS 9/29/22	

DAVID W. TERPENING
 ARCHITECT A.I.A. INC.
 P.O. BOX 7010
 MENLO PARK, CA 94026
 PH. (650) 328-6300
 FAX (650) 367-6257

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LANIGAN RESIDENCE
164 PECORA WAY
PORTOLA VALLEY, CA. 94028

DRAWN DWT
CHECKED
DATE 10/21/21
SCALE 1/8" = 1'-0"
JOB NO.

SHEET
SU-2
 OF SHEETS

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENTS OF THE CITY OF MENLO PARK.
- CONTRACTOR SHALL SECURE A STREET OPENING PERMIT FROM THE CITY ENGINEERING DEPARTMENT AND PAY APPROPRIATE FEE PRIOR TO COMMENCEMENT OF WORK. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE UNDER A SINGLE STREET OPENING PERMIT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY AGENCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY CONTACT UNDERGROUND SERVICE ALERT (USA) AT 800/642-2444.
- EXISTING UTILITIES SHOWN ARE BASED UPON RECORD INFORMATION AND ARE APPROXIMATE IN LOCATION AND DEPTH. THE CONTRACTOR SHALL POthOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH, AND REPORT POTENTIAL CONFLICTS TO THE ENGINEER PRIOR TO EXCAVATION FOR NEW FACILITIES.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REPLACE ALL STREET MONUMENTS, LOT CORNER PIPES, AND GRADE STAKES DISTURBED DURING THE PROCESS OF CONSTRUCTION AT THE REGULAR ENGINEER'S FEE.
- PROVIDE CONCRETE PROTECTION BETWEEN UNDERGROUND PIPE CROSSINGS WITH 12" OR LESS VERTICAL CLEARANCE.
- ALL SURPLUS AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM PROJECT SITE AND FROM PUBLIC RIGHT-OF-WAY.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- CONTRACTOR SHALL PERFORM HIS CONSTRUCTION AND OPERATION IN MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE SAN MATEO COUNTYWIDE STORM WATER POLLUTION PREVENTION PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION, THE CONTRACTOR SHALL PRESENT HIS PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED, EXCEPT AT LOCATION(S) APPROVED BY THE CITY TRAFFIC ENGINEER.
- THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE CITY'S ENGINEERING DIVISION FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY
- THE STORM RUNOFF GENERATED BY THE NEW PROJECT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.

GRADING NOTES

- CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.
- ON-SITE UTILITY TRENCHES SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL. THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED EIGHT (8) INCHES IN UNCOMPACTED THICKNESS AND SHALL BE MECHANICALLY COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
- ALL UTILITIES SHALL BE UNDERGROUND FROM THE PROPERTY LINES IN. LOCATION OF METERS ARE AS NOTED. COORDINATE ALL SUCH WORK WITH THE UTILITY COMPANY HAVING JURISDICTION.
- STORM DRAIN POLLUTION PREVENTION. PROTECT DOWNSLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH HAY BALES, TEMPORARY DRAINAGE SWALES, SILT FENCES, BERMS OR STORM DRAIN INLET FILTERS COVER STOCK PILES AND EXCAVATED SOIL WITH SECURED TARPS OR PLASTIC SHEETING.
- A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY. VISIT THE CITY'S WEBSITE AT WWW.MENLOPARK.ORG TO VIEW ENCROACHMENT PERMIT REQUIREMENTS. PERMITS FROM UTILITY COMPANIES MUST BE OBTAINED PRIOR TO APPLICATION OF THE ENCROACHMENT PERMIT.
- CONTACT PUBLIC WORKS AT 650-599-7273 TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF PUBLIC IMPROVEMENT WORK TO SCHEDULE A PRE-CONSTRUCTION MEETING AND FOR EACH SUBSEQUENT DAY OF WORK IN THE PUBLIC RIGHT OF WAY.
- CONTACT PUBLIC WORKS AT 650-599-7273 TO SCHEDULE AN INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE OF COMMENCEMENT OF GRADING.
- ALL GRADING DURING THE RAINY SEASON (OCT. 1ST THROUGH APRIL 30TH) REQUIRES AND EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE CITY. STORMWATER POLLUTION PREVENTION MEASURES SHALL BE IMPLEMENTED THROUGHOUT THE YEAR, TO THE SATISFACTION OF THE CONSTRUCTION SUPERVISOR.
- ALL CHANGES TO THE APPROVED GRADING AND DRAINAGE PLAN REQUIRE A PLAN MODIFICATION APPROVAL BY THE CITY IN ADVANCE OF CONSTRUCTION THE CHANGE. THE PROPOSED PLAN CHANGE MUST BE GENERATED FROM THE ENGINEER/ARCHITECT WHO ORIGINALLY PREPARED THE PLAN.
- ANY DEVIATION FROM THE APPROVED PLAN AND/OR FAILURE TO OBTAIN GRADING AND DRAINAGE INSPECTION MAY AFFECT THE PUBLIC WORKS SIGN-OFF FOR BUILDING FINAL AND/OR OCCUPANCY.

TOPOGRAPHIC SITE PLAN NOTES

BASIS OF BEARINGS

BEARINGS SHOWN HEREON TAKEN FROM "TRACT NO. 770 LADERA UNIT NO. B" WHICH WAS FILED FOR RECORD IN BOOK 50 OF MAPS PAGE 28 ON JANUARY 29, 1959, SAN MATEO COUNTY RECORDS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON AN ASSUMED DATUM. SITE BENCHMARK IS THE SANITARY SEWER MANHOLE LID WITH AN ASSUMED ELEVATION OF 200.00 FEET.

NOTES:

BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 55907-51070347, AS TITLE REFERENCE FOR ALL EASEMENTS OF RECORD PLOTTED HEREON.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtsurveying.com

DATE OF FIELD SURVEY: MAY 8, 2020
JOB NUMBER: 20-049

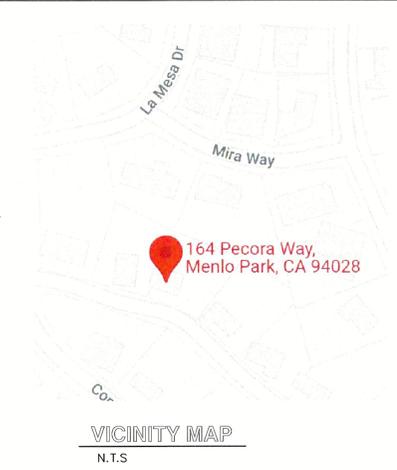
AVERAGE SLOPE

AVERAGE SLOPE (S) = 100 * INTERVAL (I) * LENGTH (L) / SF AREA (A)

$S = (100 * 2 * 2600) / 14,091 = 36.9\%$

ABBREVIATIONS

AC	ASPHALT CONCRETE	MH	MAN HOLE
APN	ASSESSORS PARCEL NUMBER	MON	MONUMENT
BLD	BUILDING	N	NEW
BW	BOTTOM OF WALL	PL	PROPERTY LINE
CB	CATCH BASIN	PM	PARCEL MAP
CO	CLEAN OUT	PVMT	PAVEMENT
CONC	CONCRETE	RD	ROOF DRAIN
CP	CONTROL POINT	RIM	TOP OF GRATE
DS	DOWN SPOUT	SD	STORM DRAIN
DWY	DRIVEWAY	SDMH	STORM DRAIN MANHOLE
EX	EXISTING	SS	SANITARY SEWER
EM	ELECTRICAL METER	SSCO	SANITARY SEWER CLEANOUT
FC	FACE OF CURB	S/W	SIDEWALK
FF	FINISH FLOOR	TM	TEMPORARY BENCH MARK
FG	FINISH GRADE	TW	TOP OF WALL
FH	FIRE HYDRANT	VG	VALLEY GUTTER
G	GAS/GROUND	W	WATER
GM	GAS METER	WDF	WOOD FENCE
INV	PIPE INVERT	WM	WATER METER
JP	JOINT POLE	WV	WATER VALVE
LW	LIGHT WELL		



LEGEND-GRADING AND DRAINAGE

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE
⊙	---	CENTERLINE
---	---	FENCE LINE
---SD---	---SD---	STORM DRAIN
---SS---	---SS---	SANITARY SEWER
---G---	---G---	GAS
---W---	---W---	WATER
---	---R---	RIDGE
=====	=====	VERTICAL CURB
=====	=====	VERTICAL CURB AND GUTTER
	⑤	SEE DETAIL ON SHEET C2 OR C5
	②	SEE NOTE ON SHEET C1
	DSO	DOWN SPOUT
	DSO	DOWN SPOUT WITH SPLASH BLOCK
□	□	UTILITY BOX -AS NOTED
	TOP OF CURB FINISHED GRADE OR FINISH GRADE	POINT ELEVATION -AS NOTED
	●	CLEANOUT
	■	CATCH BASIN (CB)
⊕		FIRE HYDRANT
⊗		WATER VALVE
⊙		SANITARY SEWER MANHOLE
⊙		STORM DRAIN MANHOLE
—	—	FIBER ROLL
○		TREE DRIP LINE
	■	CONCRETE
	■	ON-SITE HARDSCAPE

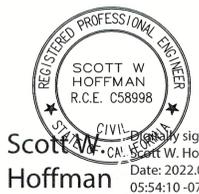
GRADING QUANTITIES

	CUT(CY)	FILL(CY)	EXPORT(CY)
BASEMENT BELOW GARAGE	80	0	0
ADU LOWER LEVEL	60	0	0
NEW TERRACE BELOW	10	0	0
MISC. STR. WORK	10	10	0
TOTAL	160	10	150

NOTE- RETAINING WALLS
RETAINING WALLS TO BE DESIGNED BY OTHERS
BOTTOM OF WALL (BW) ELEVATIONS SHOWN ARE
FOR THE FINISH GRADE ADJACENT TO THE LOWER PORTION
OF THE WALL. THE BOTTOM OF THE BLOCKS WILL BE LOWER
PER THE STRUCTURAL PLANS.

CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND
REPLACEMENT OF ALL IMPROVEMENTS DAMAGED
DURING CONSTRUCTION.
A SEPARATE ENCROACHMENT PERMIT IS REQUIRED
FOR ALL WORK WITHIN THE PUBLIC RIGHT OF WAY.

GEOTECHNICAL REPORT
ALL GRADING, EARTHWORK AND SITE DRAINAGE TO BE COMPLETED
IN ACCORDANCE WITH THE GEOTECHNICAL REPORT COMPLETED BY:
SIGMA PRIME GEOSCIENCES, INC.
FILE NO. 22-137 DATE: JUNE 3, 2022



SHEET INDEX

- C1 GRADING & DRAINAGE NOTES,
- C2 SECTIONS AND DETAILS
- C3 GRADING AND DRAINAGE PLAN 1"=10'
- C4 EROSION CONTROL PLAN
- C5 EROSION CONTROL NOTES

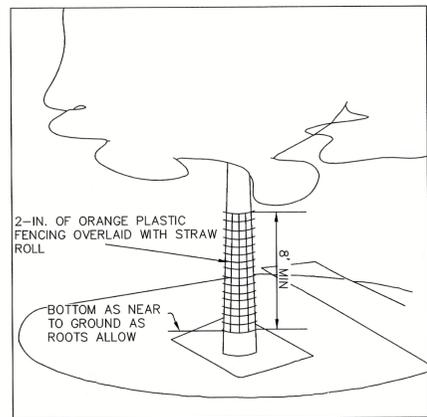
BAY LAND CONSULTING
LAND SURVEYORS/CIVIL ENGINEERS
P.O. BOX 299
SANTA CLARA, CA 95050
Ph: (408) 296-6000 FAX: (408) 404-5579
SERVING THE BAY AREA

GRADING AND DRAINAGE NOTES
164 PECORA WAY
PORTOLA VALLEY, CA 94028
APN 077-143-030
SAN MATEO COUNTY, CALIFORNIA

REVISIONS	DATE	DESCRIPTION

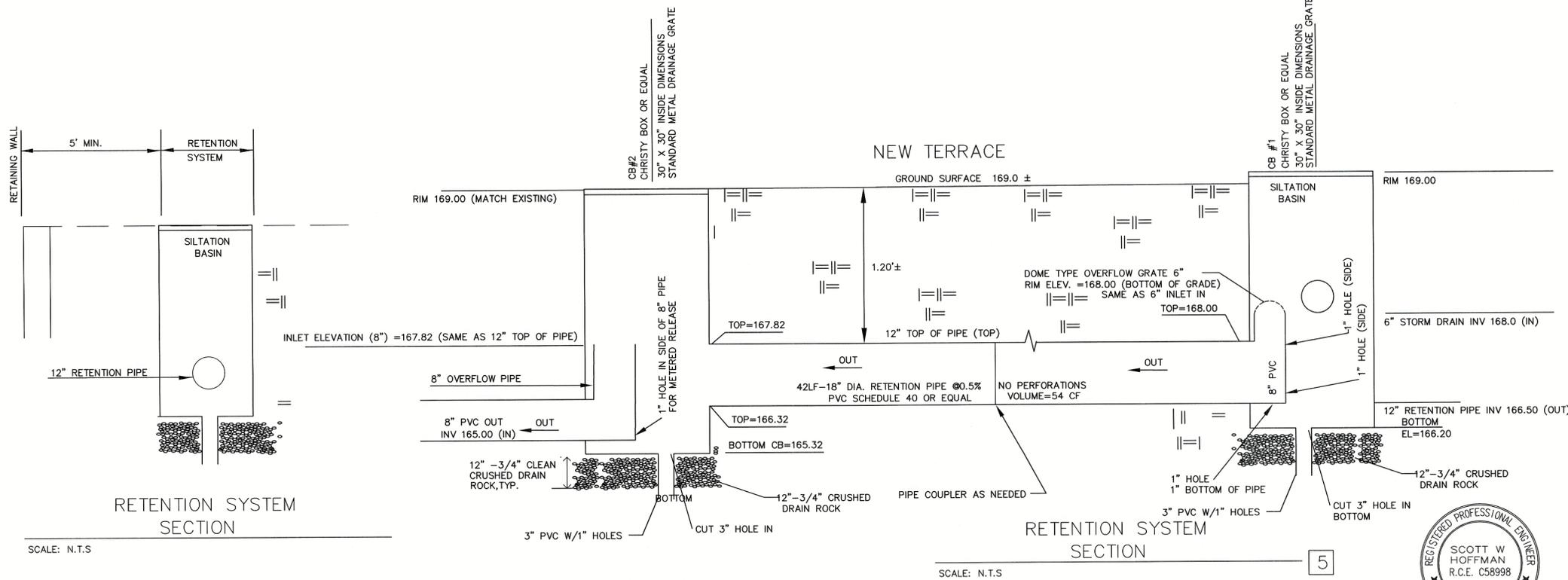
JOB: 22013
SCALE: 1"=10'
DRAWN BY: YC
CHECKED BY: SH
DATE: 07/13/22

SHEET
C1
OF 5 SHEET



DETAIL TREE PROTECTION
WRAP WITH STRAW ROLL
SCALE: . N.T.S

6



RETENTION SYSTEM
SECTION

SCALE: N.T.S

RETENTION SYSTEM
SECTION

SCALE: N.T.S

5



Scott W. Hoffman
Digitally signed by
Scott W. Hoffman
Date: 2022.07.13
05:54:23 -0700

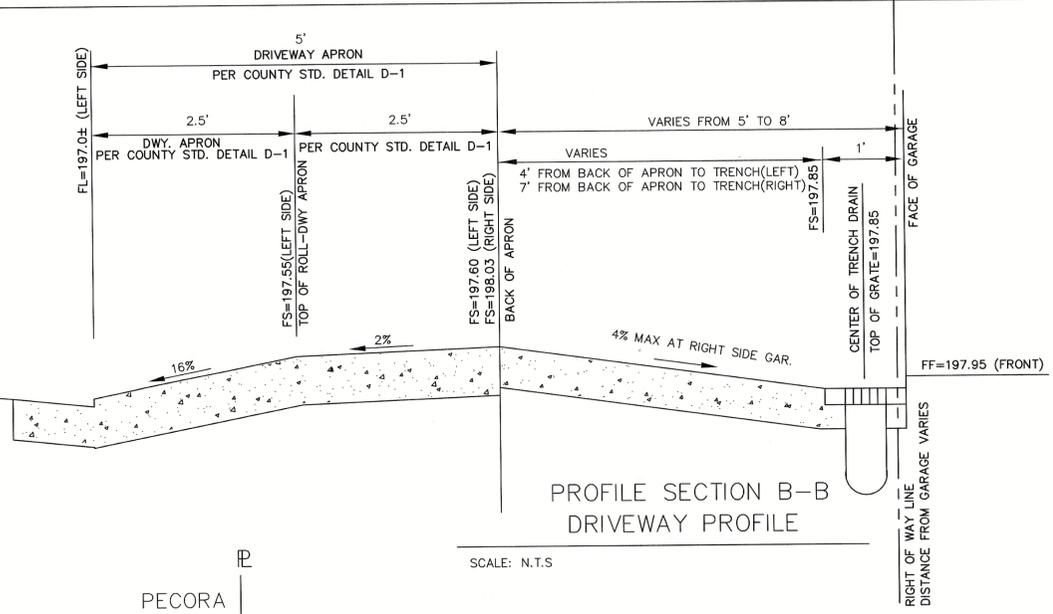
REVISIONS	DATE	DESCRIPTION
22013	07/13/22	
1"	Y.C.	
1"	SH	

JOB: 22013
SCALE: 1"=10'
DRAWN BY: YC
CHECKED BY: SH
DATE: 07/13/22
SHEET
C2
OF 5 SHEET

SECTIONS AND DETAILS
164 PECORA WAY
PORTOLA VALLEY, CA 94028
APN 077-143-030
SAN MATEO COUNTY, CALIFORNIA

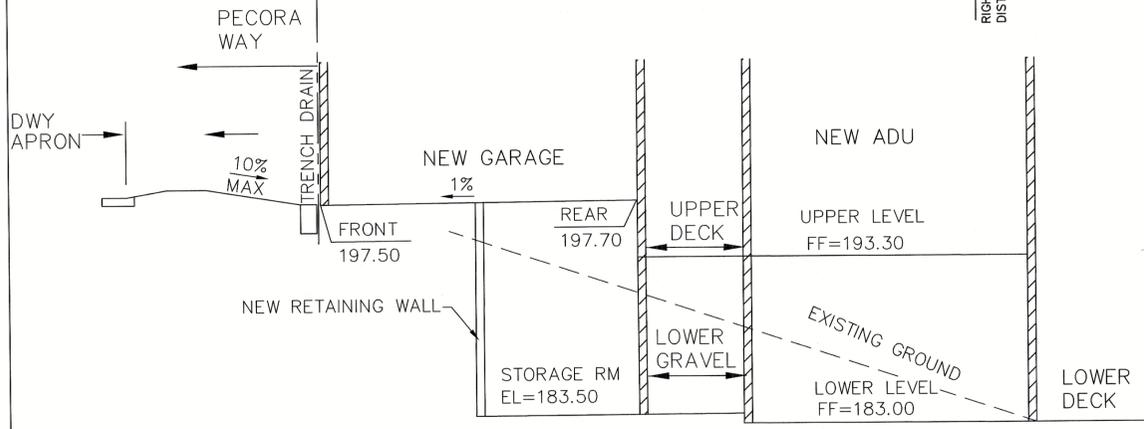
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P.O. BOX 299
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PH: (408) 296-6000 FAX: (408) 404-5579
SERVING THE BAY AREA

PECORA WAY



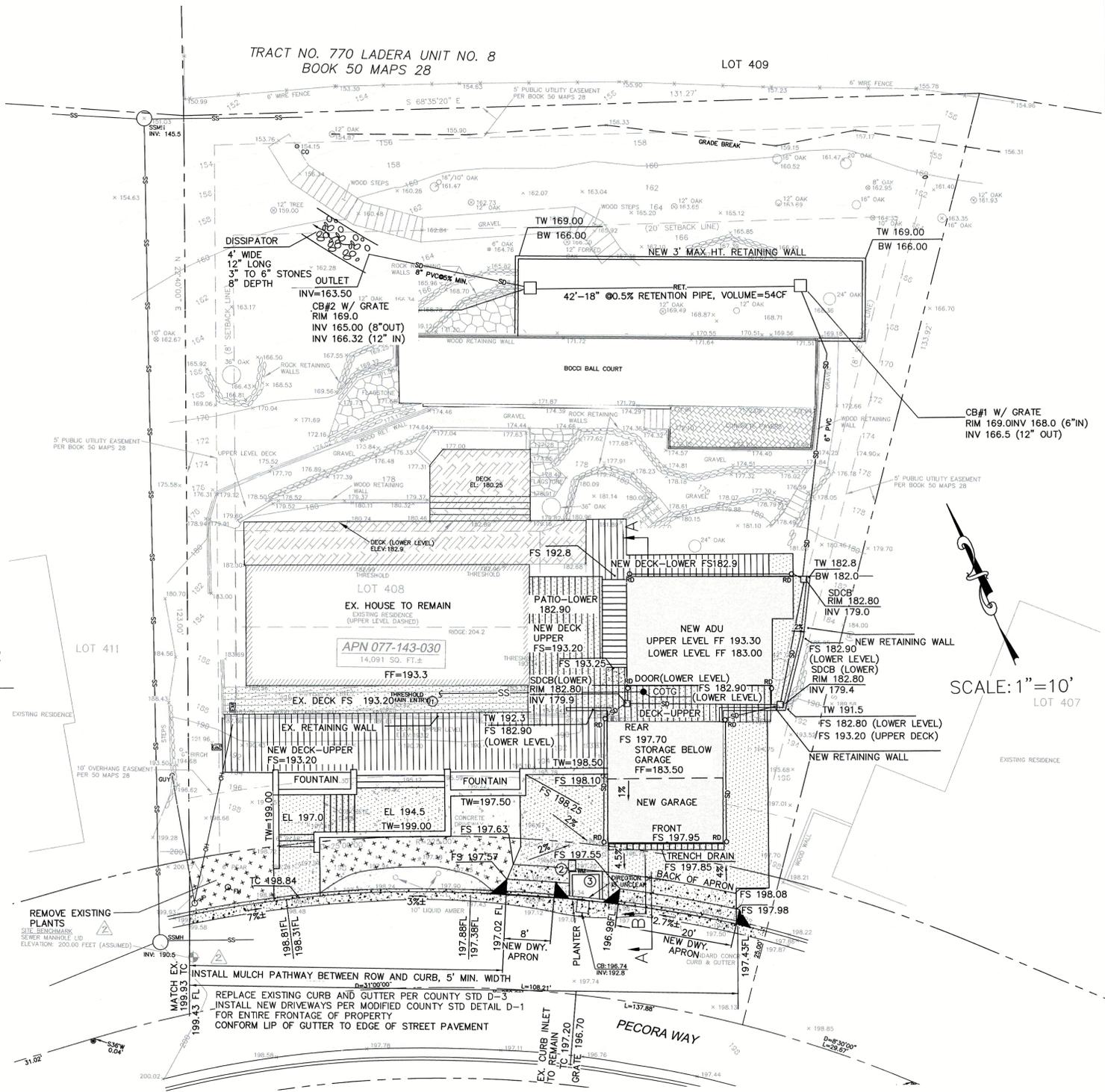
PROFILE SECTION B-B
DRIVEWAY PROFILE

SCALE: N.T.S



SECTION A-A

SCALE: N.T.S



- NOTES:
- INSTALL 4" PVC SEWER LATERAL @2% MIN TO CONNECT TO EXISTING SEWER FOR RESIDENCE. INSTALL CLEAN-OUT WITHIN 5' OF FOUNDATION.
 - EXISTING WATER METER TO REMAIN
 - CONSTRUCT 6" CURB AROUND AND BEHIND STREET INLET

NOTES FOR DRAINAGE PIPE
 1 6" PVC SCHEDULE 40 MIN. UNLESS OTHERWISE NOTED
 2 1% MIN SLOPE UNLESS OTHERWISE NOTED

SCALE: 1"=10'



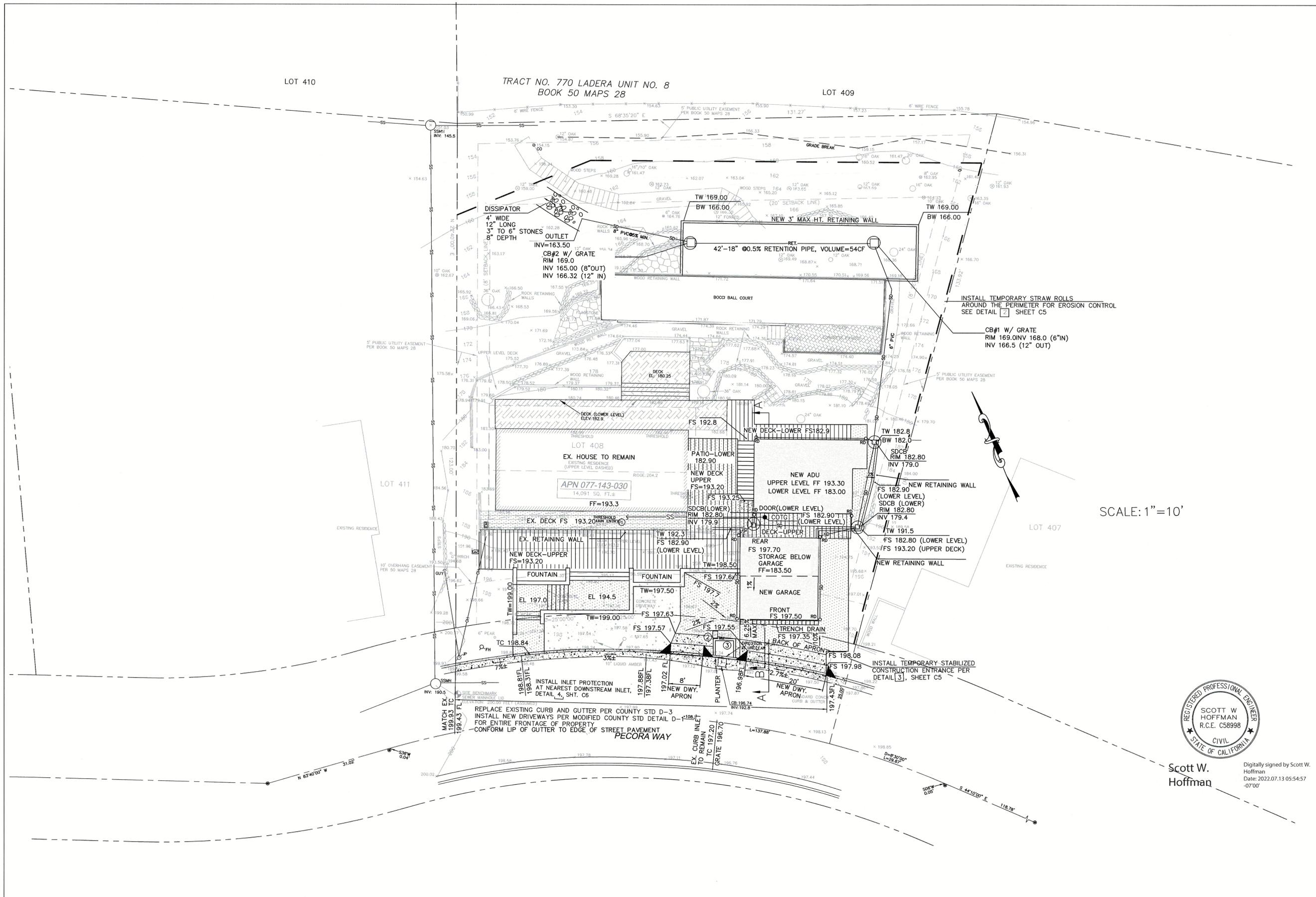
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 SANTA CLARA, CA 95050
 Ph: (408) 296-6000 FAX: (408) 404-5579
 SERVING THE BAY AREA

GRADING AND DRAINAGE PLAN
 164 PECORA WAY
 PORTOLA VALLEY, CA 94028
 APN 077-143-030
 SAN MATEO COUNTY, CALIFORNIA

REVISIONS	DATE	DESCRIPTION

JOB: 22013
 SCALE: 1"=10'
 DRAWN BY: YC
 CHECKED BY: SH
 DATE: 09/16/22

SHEET
C3
 OF 5 SHEET



BAY LAND CONSULTING
 LAND SURVEYORS/CIVIL ENGINEERS
 P.O. BOX 299
 SANTA CLARA, CA 95050
 PH: (408) 296-6000 FAX: (408) 404-5579
 SERVING THE BAY AREA

EROSION CONTROL PLAN
 164 PECORA WAY
 PORTOLA VALLEY, CA 94028
 APN 077-143-030
 SAN MATEO COUNTY, CALIFORNIA

SCALE: 1"=10'



Scott W. Hoffman
 Digitally signed by Scott W. Hoffman
 Date: 2022.07.13 05:54:57 -0700

REVISIONS	DESCRIPTION	DATE

JOB:	22013
SCALE:	1"=10'
DRAWN BY:	YC
CHECKED BY:	SH
DATE:	07/13/22

SHEET
C4
 OF 5 SHEET

Standard Erosion Control Comments:

- Erosion Control Point of Contact. (Please provide an Erosion Control Point of Contact including name, title/qualification, email, and phone number. The EC Point of Contact will be the County's main point of contact if Erosion Control or Tree Protection corrections are required).
Name: SCOTT HOFFMAN
Title: PROJECT ENGINEER
Email: SCOTT738@PROTONMAIL.COM
Phone Number: (408)296-6000
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points.
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
- Placement of erosion materials at these locations are required on weekends and during rain events: (List locations)
- The areas delineated on the plans for parking, grubbing, storage, etc., shall not be enlarged or "run over."
- Construction sites are required to have erosion control materials on-site during the "off-season."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- Use of plastic sheeting between October 1 and April 30 is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- Tree protection shall be in place before any demolition, grading, excavating or grubbing is started.

Erosion Control Notes:

- All erosion control measures shall be onsite and readily accessible prior to construction.
- Sweep or scrape up soils tracked onto the road at the end of each day. Do not hose into street, gutter or storm drain.
- Revegetate disturbed areas. Exposed bare dirt shall be covered with mulch, jute netting or other erosion control blanket.
- All temporary stockpiles shall be covered with 6 mil. Plastic sheets, suitable anchored.
- The site shall be monitored by the contractor/owner after rain event to verify erosion control measures are functioning.

NOTE: MAX. DEPTH OF BED IS LIMITED TO 2FT & BED MUST BE LOCATED AT LEAST 10FT AWAY FROM NEAREST PROPERTY LINE & TREE.

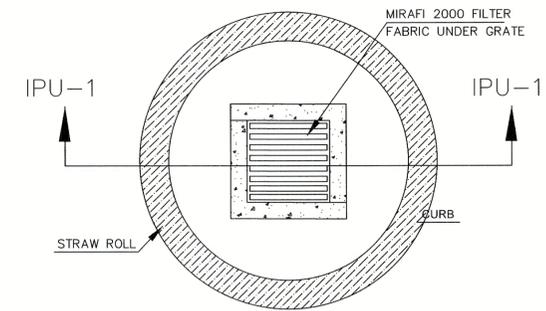
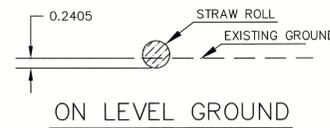
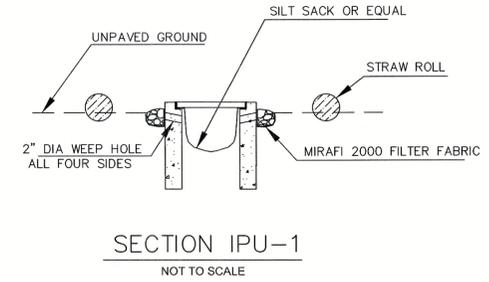
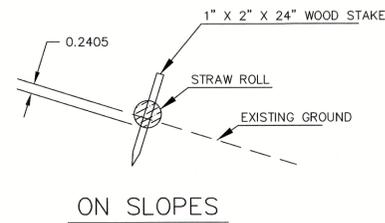
EST. DIMENSIONS OF GRAVEL BED:

WIDTH = 4FT
LENGTH = 4FT
DEPTH = 2 FT

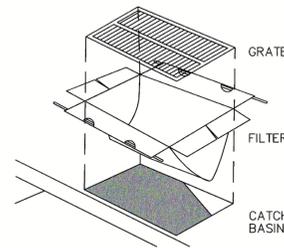
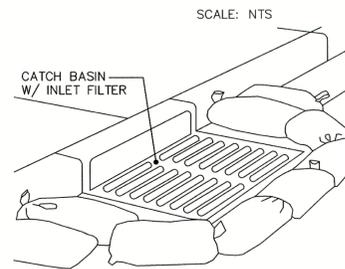
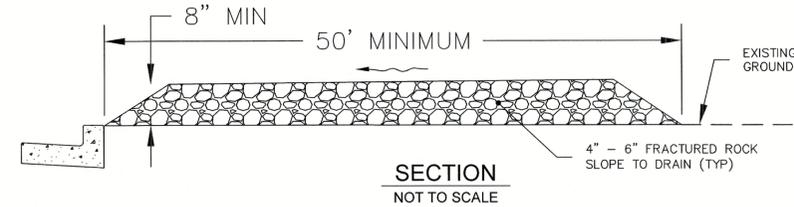
PER DETAIL BELOW

MAINTENANCE NOTES

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- SAND BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.



- PLACE STRAW ROLL IN TRENCH EXCAVATED 3" (0.024') INTO GROUND ALONG CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
- ON SLOPES PLACE ROLL TO FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE. CURVE ENDS UPHILL AT THE ENDS.
- ABUT ADJACENT ROLLS TIGHTLY.



NOTES:
BRING THE DISTURBED AREA TO THE GRADE OF THE DROP INLET AND SMOOTH AND COMPACT IT. APPROXIMATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

PROPERLY DISPOSE OF ACCUMULATED SEDIMENT

INSPECT ALL INLET PROTECTION DEVICES BEFORE AND AFTER RAINFALL EVENTS, AND WEEKLY THROUGHOUT THE RAIN SEASON. DURING EXTENDED RAINFALL EVENTS, INSPECT INLET PROTECTION DEVICES AT LEAST ONCE EVERY 24 HOURS.

REMOVE ALL INLET PROTECTION DEVICES WITHIN THIRTY DAYS AFTER THE SITE IS STABILIZED, OR WHEN INLET PROTECTIONS IS NO LONGER REQUIRED.

CATCH BASIN INLET FILTER

INSTALLATION
REMOVE DRAIN GRATE

INSERT CATCH BASIN FILTER INTO BASIN LEAVING 3" FLAP EXPOSED

REPLACE GRATE TO BASIN THEREBY PINCHING FABRIC BETWEEN GRATE AND CATCH BASIN AND HOLDING FILTER IN PLACE

INSPECTION AND MAINTENANCE

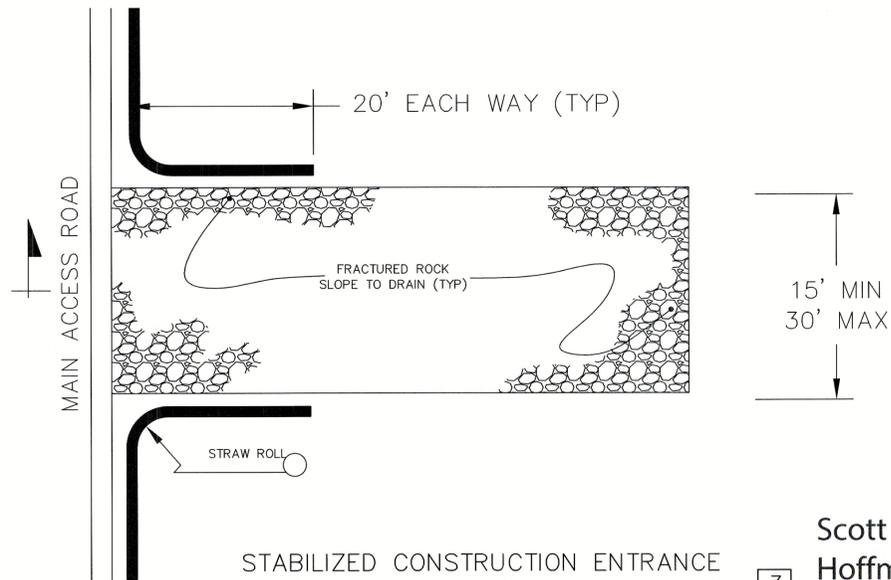
INSPECT CATCH BASIN FILTERS WEEKLY AND AFTER EVERY RAIN EVENT

EMPTY CATCH BASIN FILTERS WHEN FILTERS APPEAR TO BE HALF FULL

DISPOSE OF TRAPPED SEDIMENT IN ACCORDANCE WITH LOCAL REQUIREMENTS

CLEAN AND REUSE INLET FILTERS OR DISCARD AND REPLACE AS NECESSARY

STORM DRAIN INLET PROTECTION PUBLIC STREET



Scott W. Hoffman
Digitally signed by Scott W. Hoffman
Date: 2022.07.13 05:55:12 -07'00'

REVISIONS

DATE	DESCRIPTION

JOB:	22013
SCALE:	1"=10'
DRAWN BY:	YC
CHECKED BY:	SH
DATE:	07/13/22

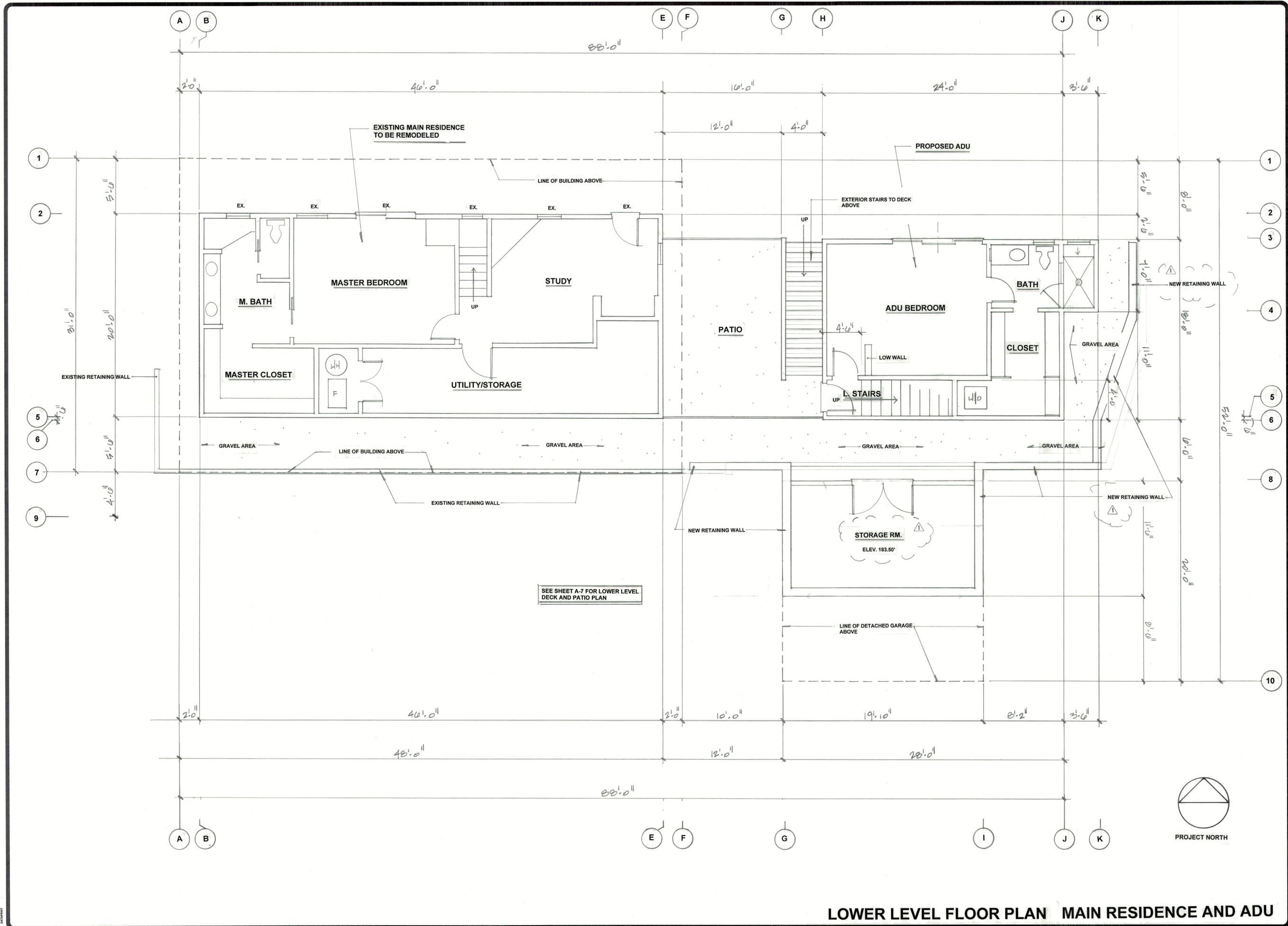
SHEET

C5

OF 5 SHEET

BAY LAND CONSULTING
LAND SURVEYORS/CIVIL ENGINEERS
P.O. BOX 299
SANTA CLARA, CA 95050
Ph: (408) 296-6000 FAX: (408) 404-5579
SERVING THE BAY AREA

EROSION CONTROL DETAILS
164 PECORA WAY
PORTOLA VALLEY, CA 94028
APN 077-143-030
SAN MATEO COUNTY, CALIFORNIA



REVISIONS	BY
1	USE PERMIT 6/6/22

DAVID W. TERPENING
 ARCHITECT A.I.A. INC.
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 MENLO PARK, CA
 94026
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 PORTOLA VALLEY, CA 94028

DRAWN	DWT
CHECKED	
DATE	10/21/21
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	A-1
OF	SHEETS

LOWER LEVEL FLOOR PLAN MAIN RESIDENCE AND ADU



A B

E F

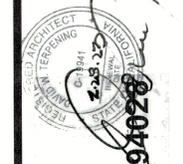
G H

J K

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DRAWN	DWT
CHECKED	
DATE	10/21/21
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	A-3
OF	SHEETS

1

1

2

3

4

5

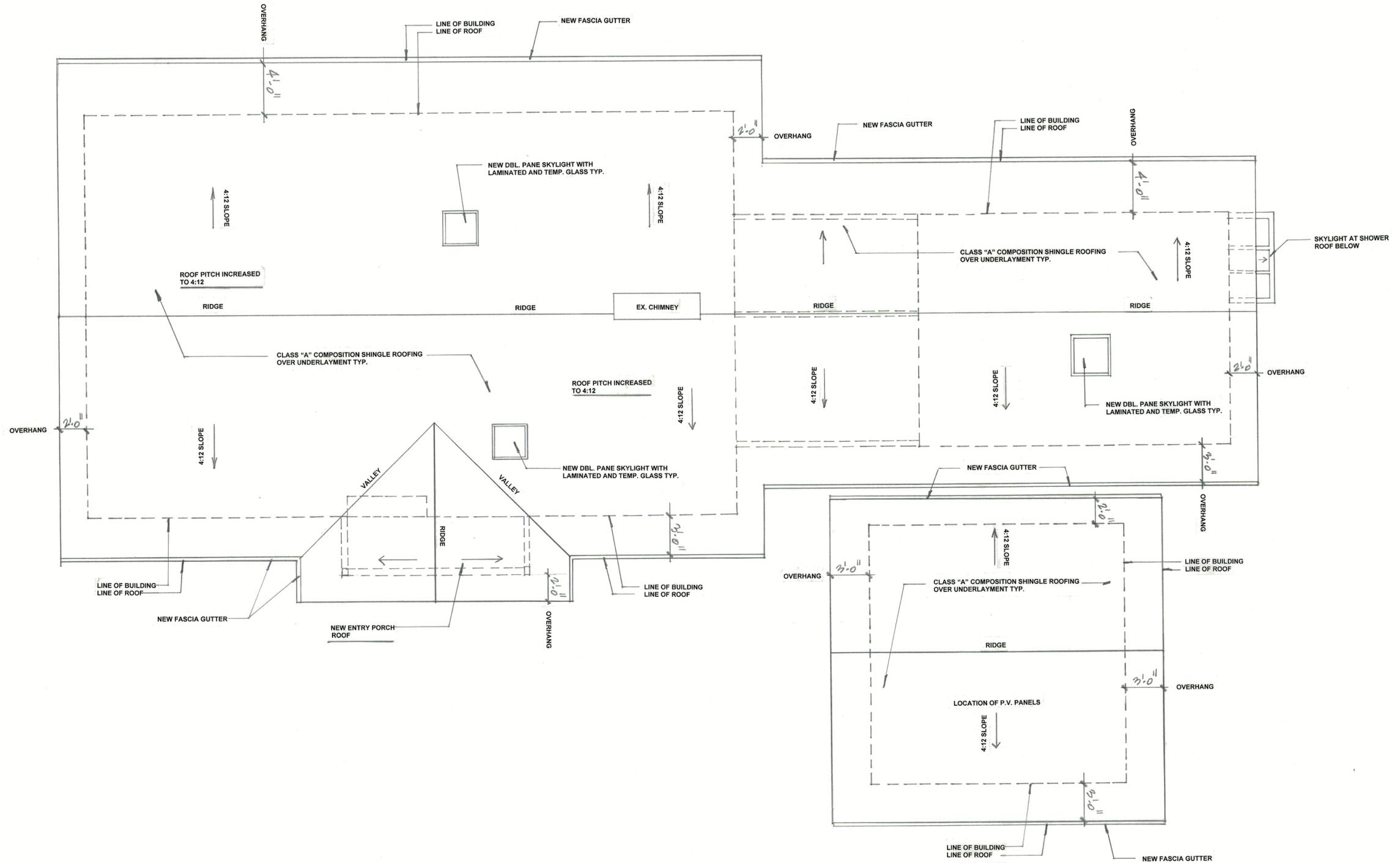
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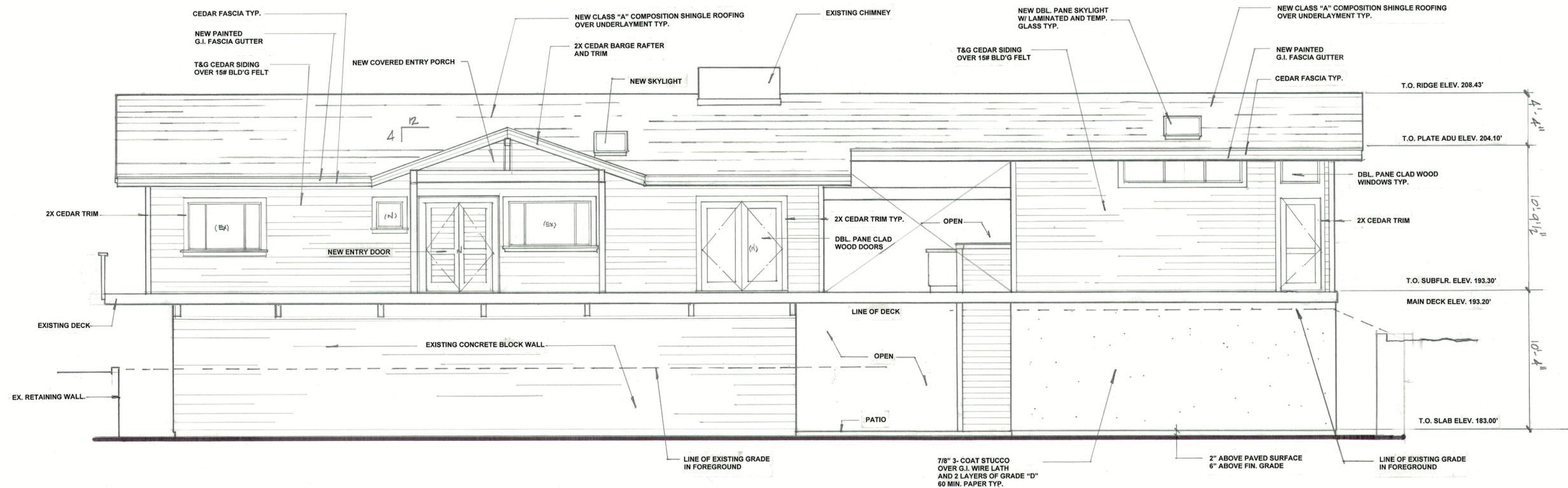
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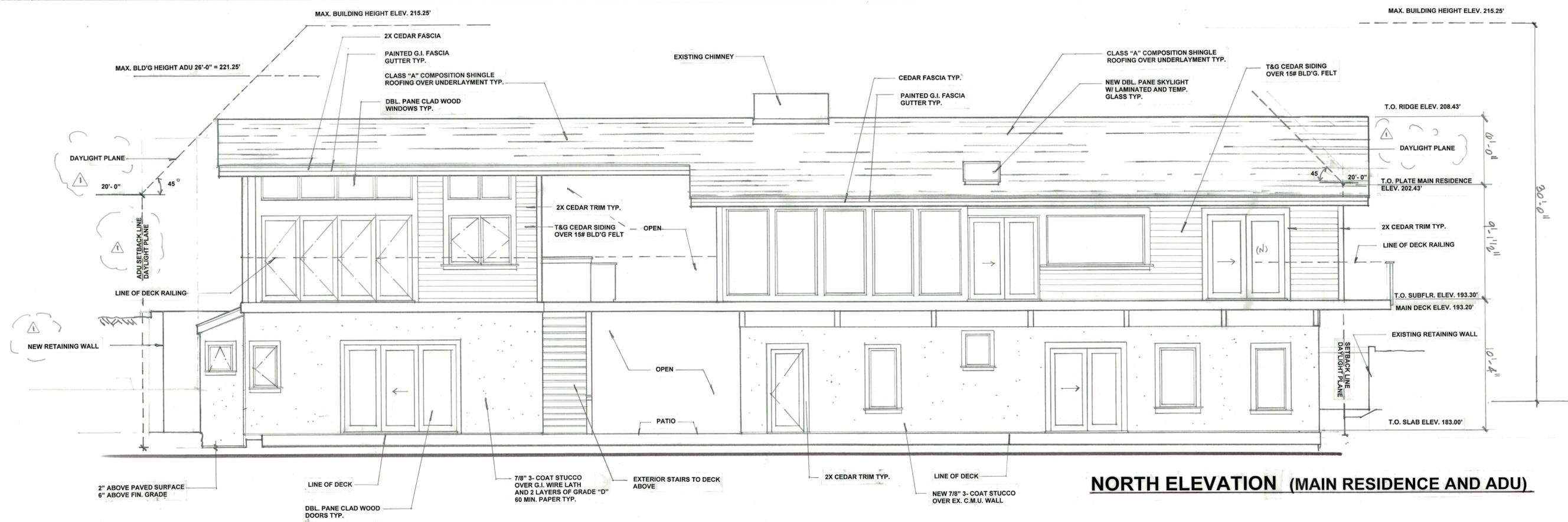
10



ROOF PLAN MAIN RESIDENCE / ADU AND GARAGE



SOUTH ELEVATION (MAIN RESIDENCE AND ADU)



NORTH ELEVATION (MAIN RESIDENCE AND ADU)

EXTERIOR ELEVATIONS MAIN RESIDENCE AND ADU

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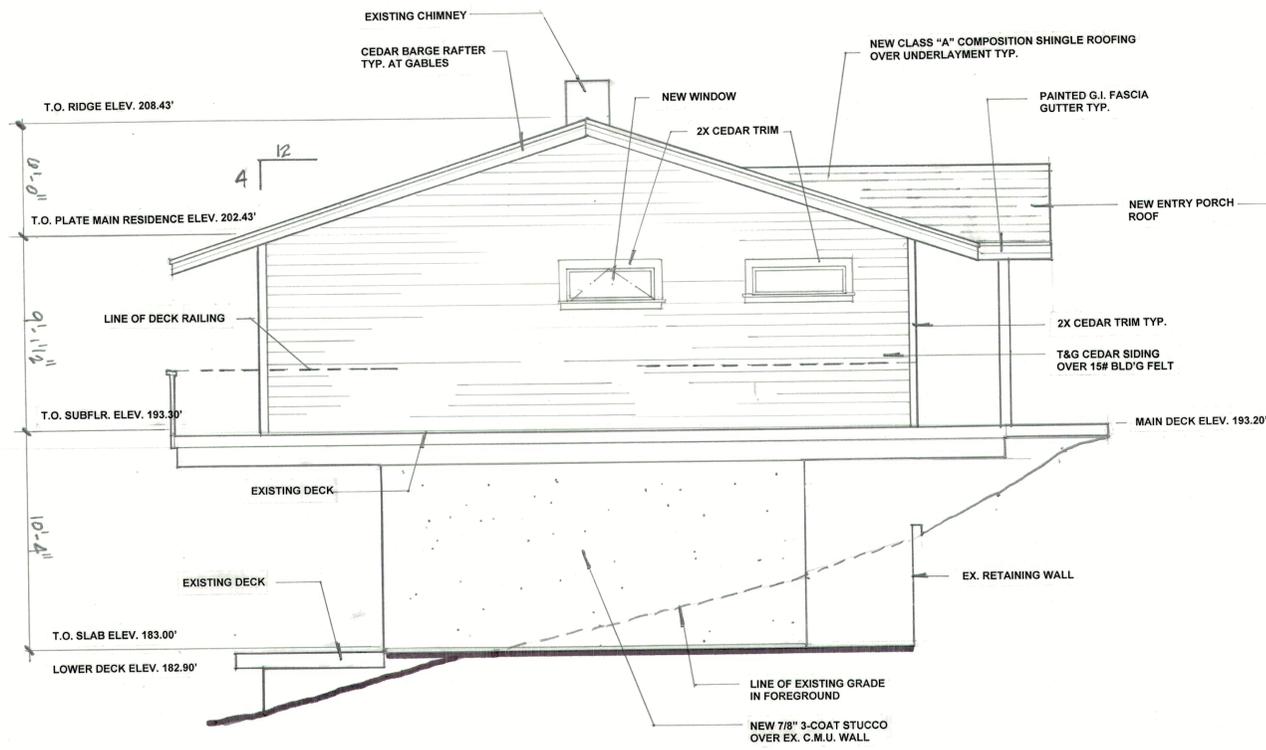
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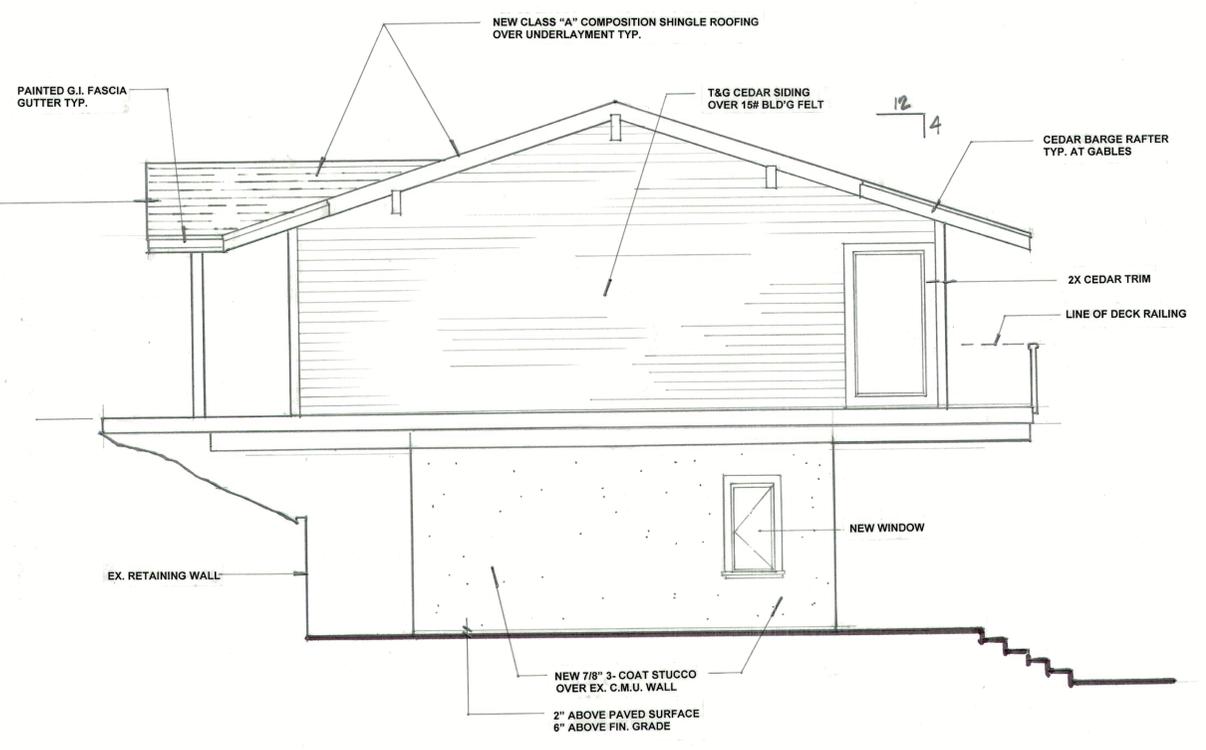
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CHECKED	
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JOB NO.	
SHEET	
	A-4
OF	SHEETS

REVISIONS	BY

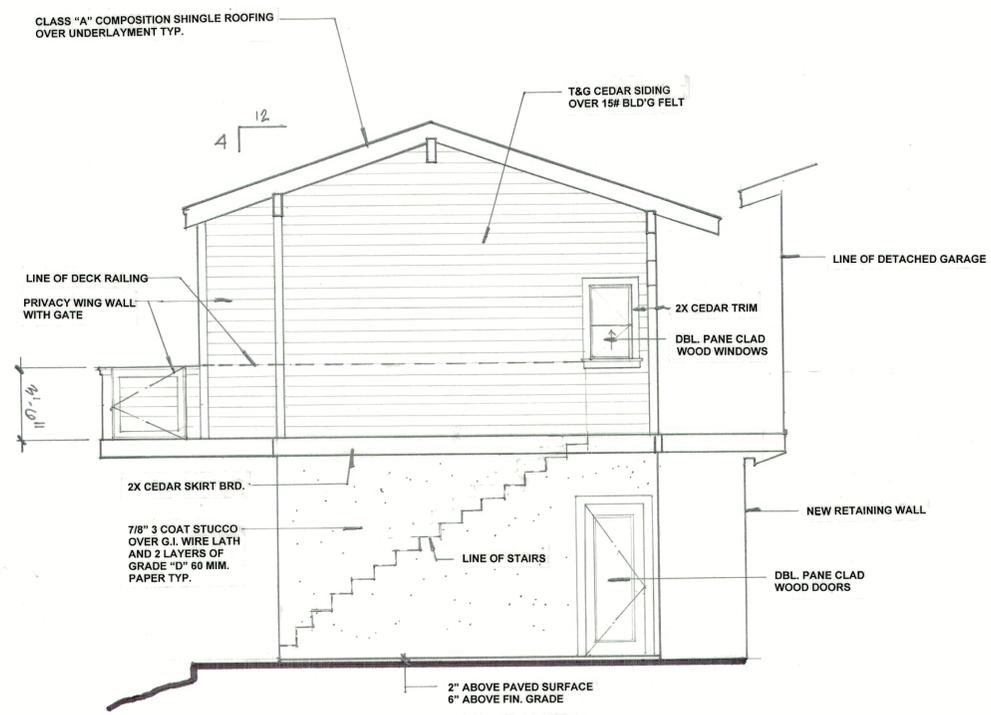
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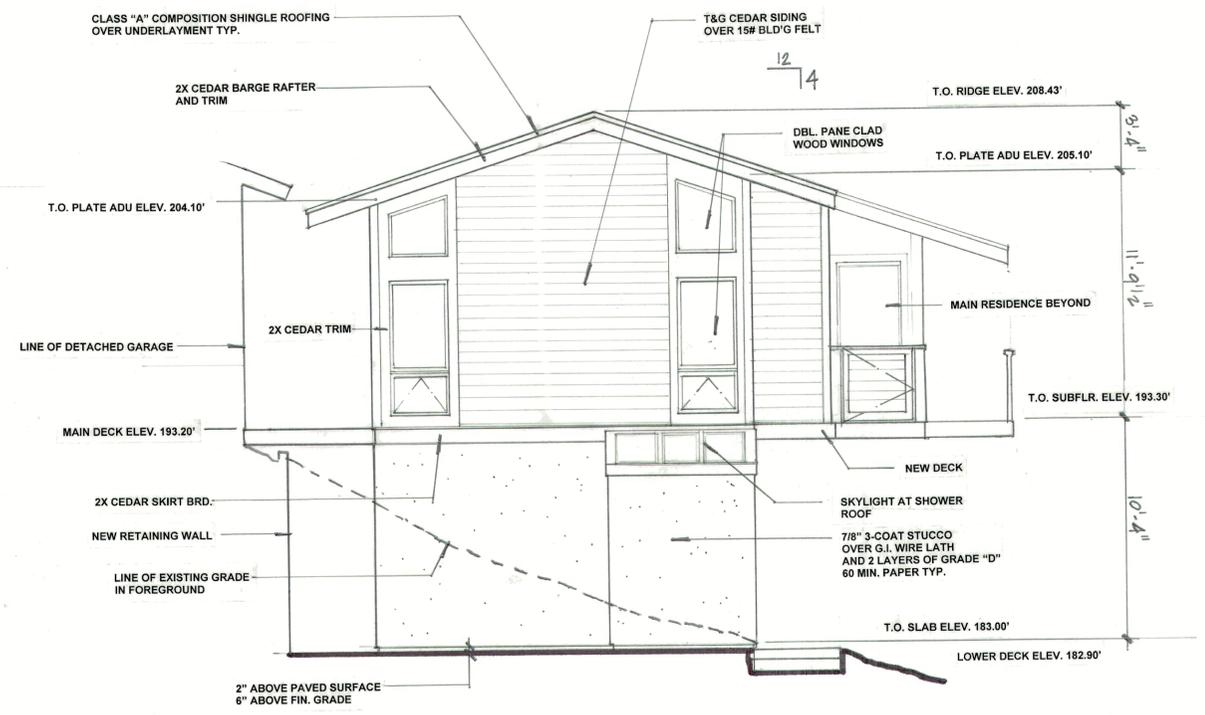
WEST ELEVATION (MAIN RESIDENCE)



EAST ELEVATION (MAIN RESIDENCE)



WEST ELEVATION (ADU)



EAST ELEVATION (ADU)

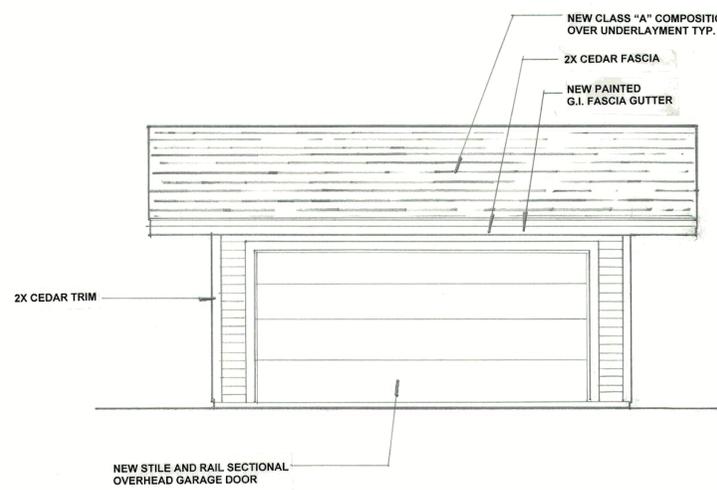
EXTERIOR ELEVATIONS MAIN RESIDENCE AND ADU

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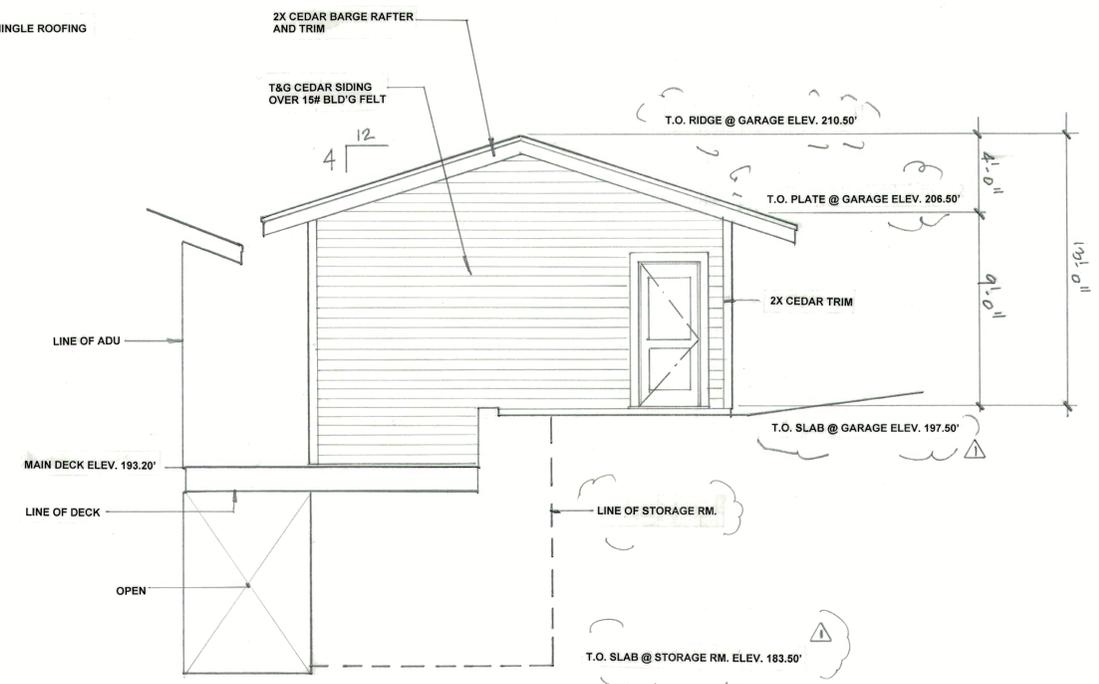


LANIGAN RESIDENCE
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 PORTOLA VALLEY, CA. 94026

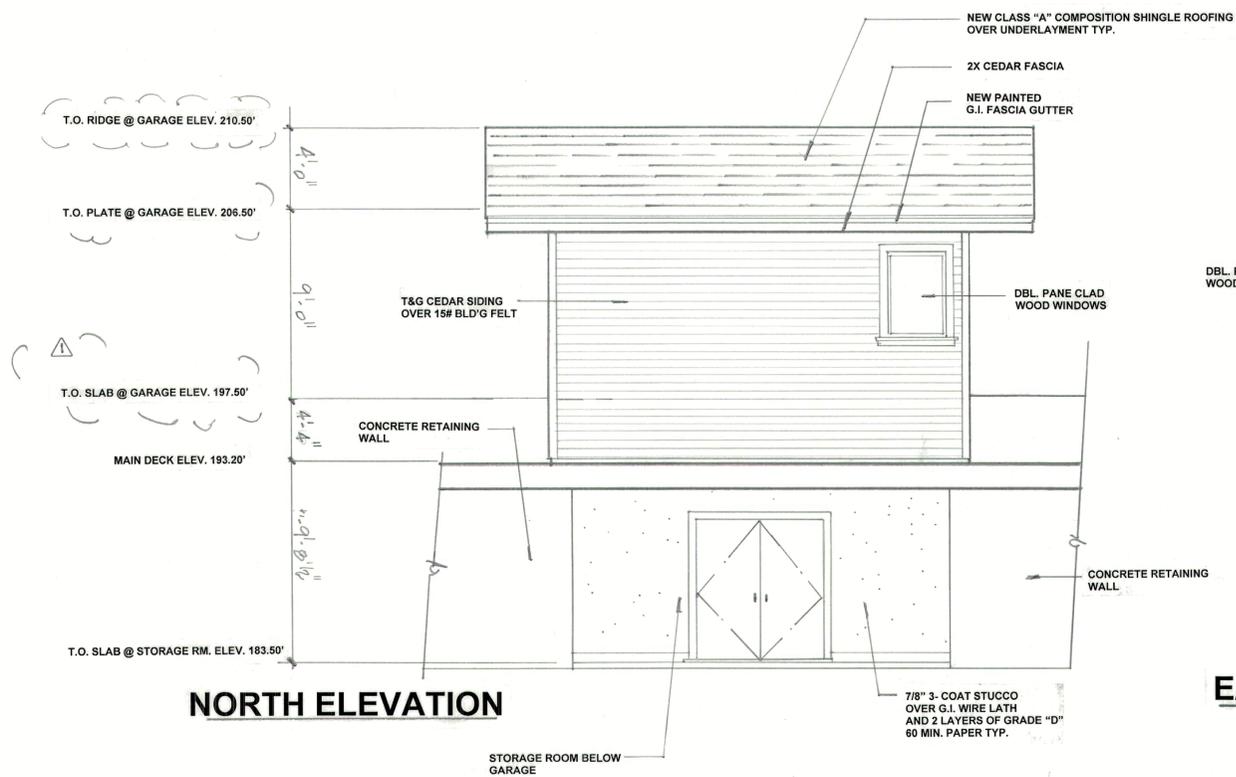
DRAWN	DWT
CHECKED	
DATE	10/21/21
SCALE	1/4" = 1'-0"
JOB NO.	
SHEET	
A-5	
OF	SHEETS



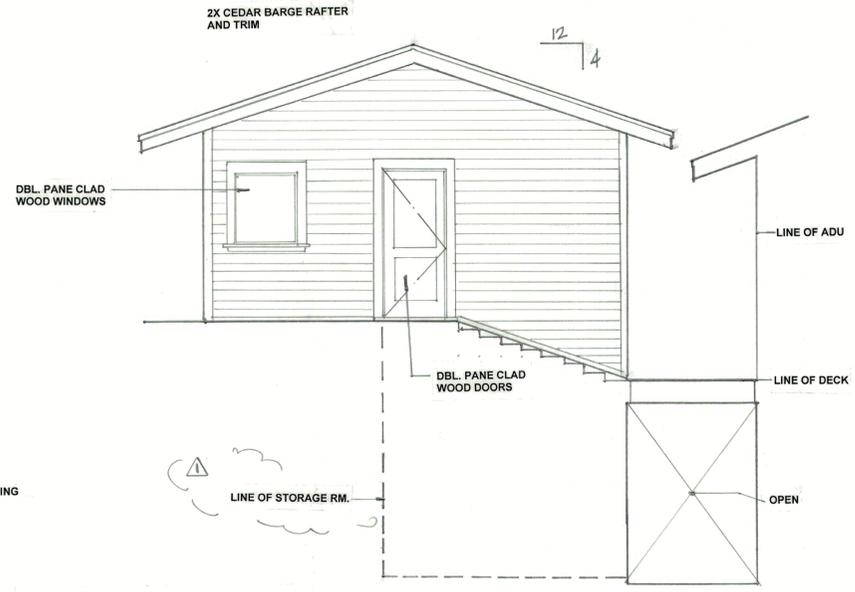
SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

EXTERIOR ELEVATIONS GARAGE

REVISIONS	BY
USE PERMIT 6/8/22	

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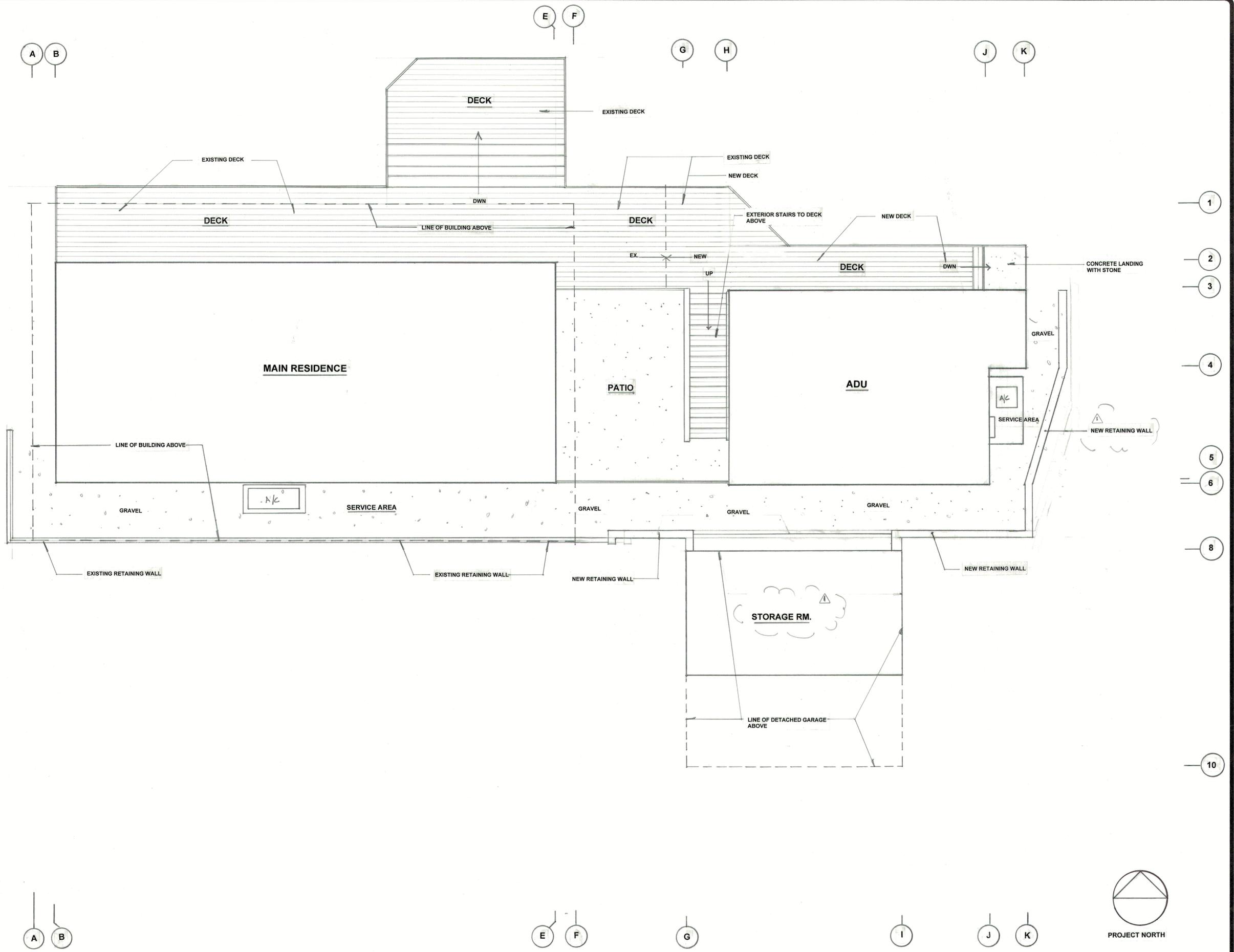
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DATE 10/21/22
SCALE 1/2" = 1'-0"
JOB NO.

SHEET
A-6
 OF SHEETS



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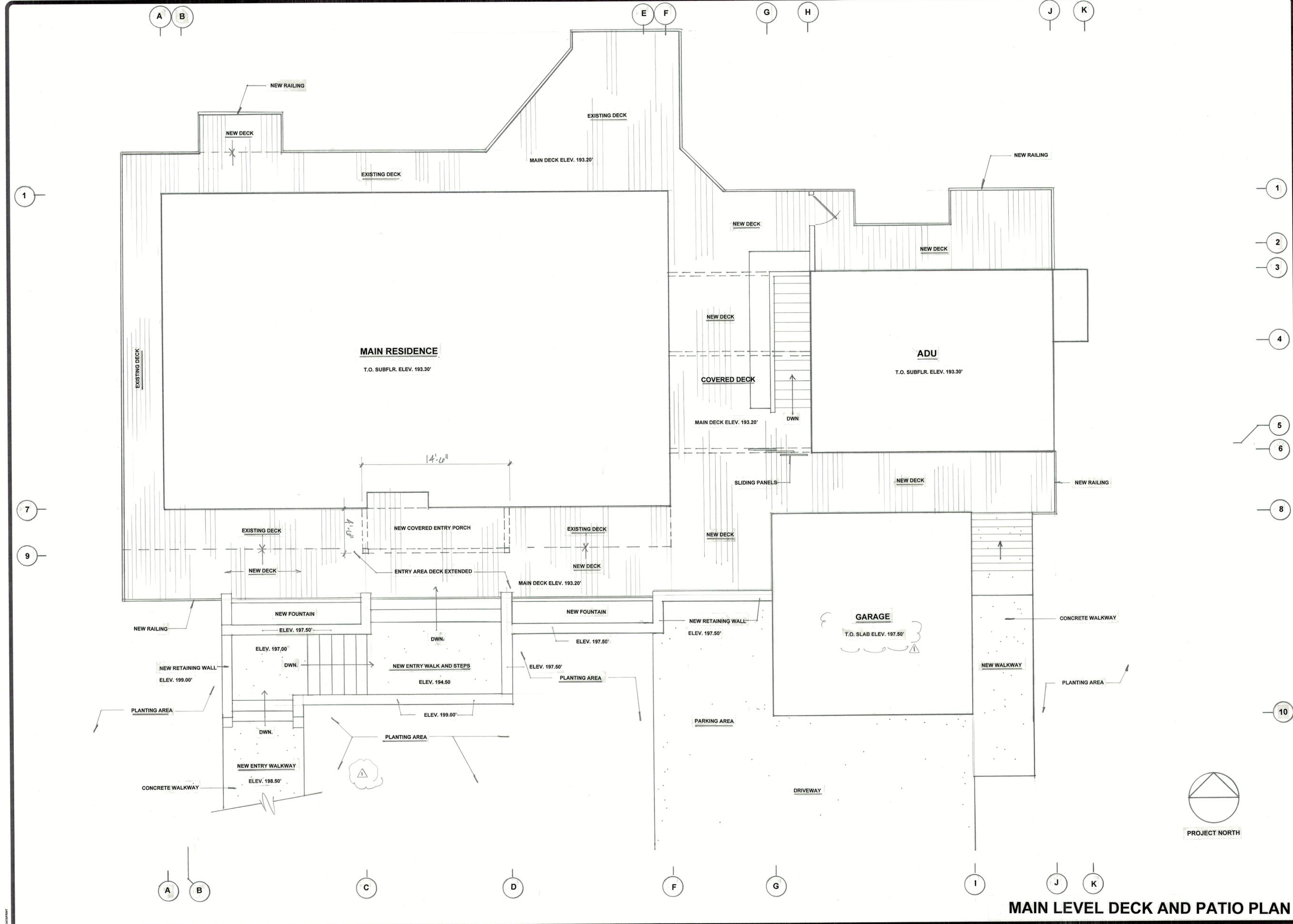


LANIGAN RESIDENCE
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PORTOLA VALLEY, CA. 94026

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 DATE
 10/21/21
 SCALE
 1/4" = 1'-0"
 JOB NO.

SHEET
A-7
 OF SHEETS

LOWER LEVEL DECK AND PATIO PLAN



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SCALE 1/4" = 1'-0"
JOB NO.
SHEET A-8
OF SHEETS

MAIN LEVEL DECK AND PATIO PLAN