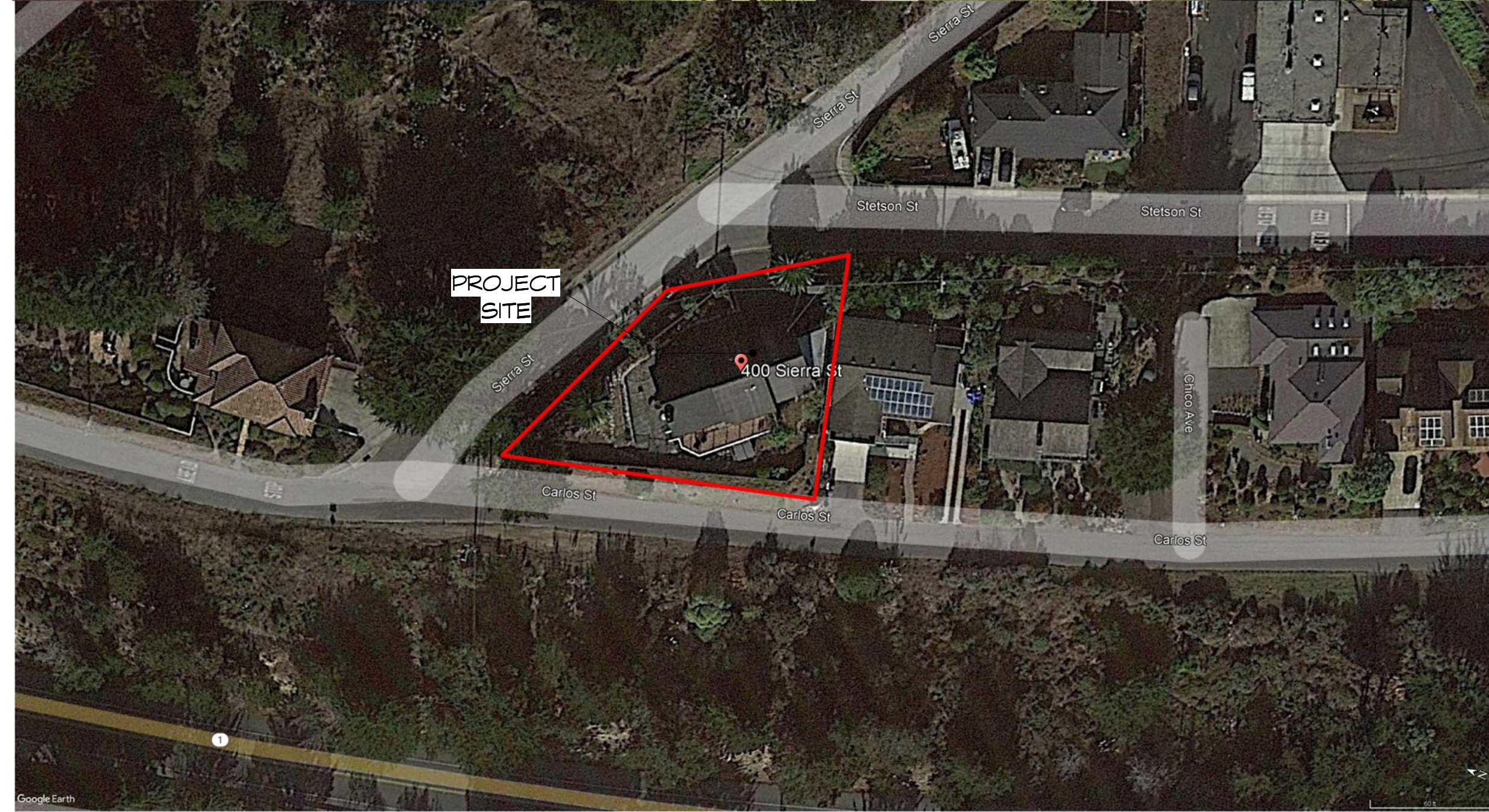


PROPOSED FRONT



PROPOSED REAR



SITE DATA:

APN: 037-084-190
 ZONING: R-1.5-17/DR/CD
 OCCUPANCY GROUP: R-3/U
 TYPE OF CONSTRUCTION: V-B

PRE:
 PLN: PLN2023-00150
 BLD:

APPLICABLE CODES:
 SAN MATEO COUNTY ZONING & BUILDING ORDINANCES
 2019 CALIFORNIA RESIDENTIAL CODE

2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA FIRE CODE
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

OWNER:
 DEBORAH HIRST & CHRIS MCAFEE
 400 SIERRA ST
 MOSS BEACH, CA 94038
 deborahsuhirst@gmail.com
 mcafee@mocha.com
 650.703.9132

ARCHITECT:
 EDWARD C LOVE, ARCHITECT
 720 MILL ST
 HALF MOON BAY, CA 94019
 edwardclovearch@gmail.com
 650.728.7615

CIVIL & GEOTECH:
 SIGMA PRIME GEOSCIENCES
 332 PRINCETON AVE
 HALF MOON BAY, CA 94402
 sigmaprime@gmail.com
 650.728.3590

STRUCTURAL:
 SEZEN & MOON
 STRUCTURAL ENGINEERING INC.
 274 E. HAMILTON AVENUE, SUITE C
 CAMPBELL, CA 95008
 408.871.7274
 smseinc@aol.com

SURVEYING:
 FREDRIC V. ALLEN, INC.
 1650 BOREL PLACE, SUITE 209
 SAN MATEO, CA 94402
 650.345.7566

	EXISTING		PROPOSED		TOTAL		ALLOWED	
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%
LOT AREA	8251							
LOT COVERAGE	2665	32.3	Decks & Balcony 218	2.6	2883	34.9	2888	35.0
FLOOR AREA	First Floor 1415 Second Floor 302 Garage 515		Second Floor Additions 919 Loft 200		First Floor 1415 Second Floor 1421 Garage 515			
Total	2232	27.1	Total 1119	13.6	Total 3351	40.6	Total 4373	53.0

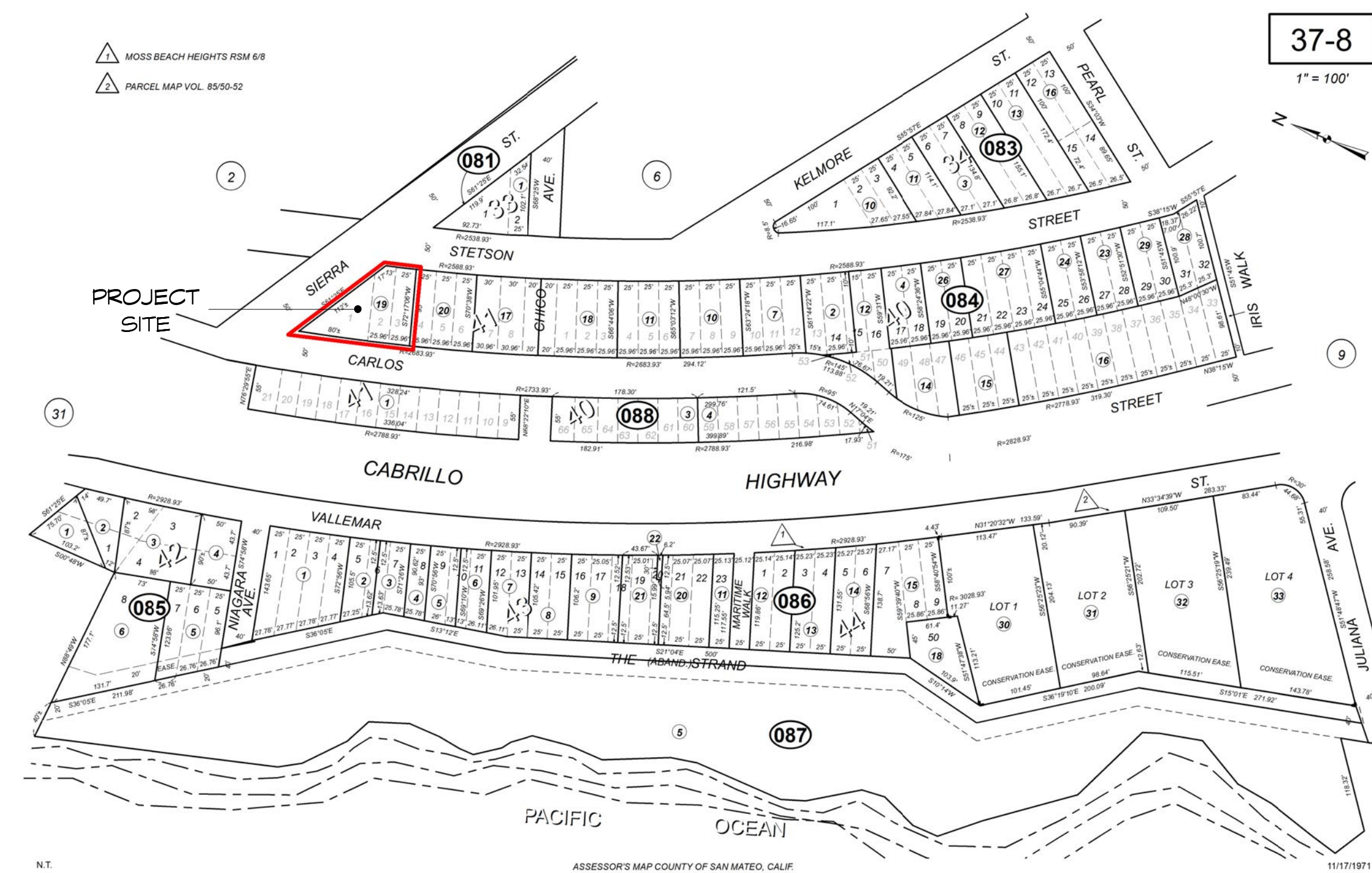
SCOPE OF WORK:
 CONSTRUCTION OF A NEW SECOND STORY ADDITION OVER GARAGE AND REMODEL OF EXISTING SECOND FLOOR

NOTE:

-
-

Sheet List - DD

Sheet Number	Sheet Name
A0.01	Cover Sheet
SU.1	Survey
A0.04	New Site Plan
A0.03	Existing Site Plan
A1.01	Existing Floor Plan
A1.02	New Floor Plan
A1.04	Floor Area Ratio
A1.05	Roof Plan
A2.02	Elevations - West
A2.03	Elevations - North & South
A2.01	Elevations - East
A3.01	Section
A3.02	Section
A5.02	Material Sheet
L-1	Concept Plan
L-2	Existing Conditions
L-3	Planting Plan
L-4	MWELC Calculations
L-5	Irrigation Plan
L-6	Landscape Site Plan
L-7	Construction Details



REVISIONS



Edward C. Love
 Architect
 720 MILL STREET
 HALF MOON BAY, CA 94019
 (650) 728-7615
 edwardclovearch@gmail.com

Additions for
 Hirst-McAfee
 400 Sierra St
 Moss Beach, CA

Cover Sheet

FOR REVIEW ONLY

DATE: 1/25/23

SCALE:

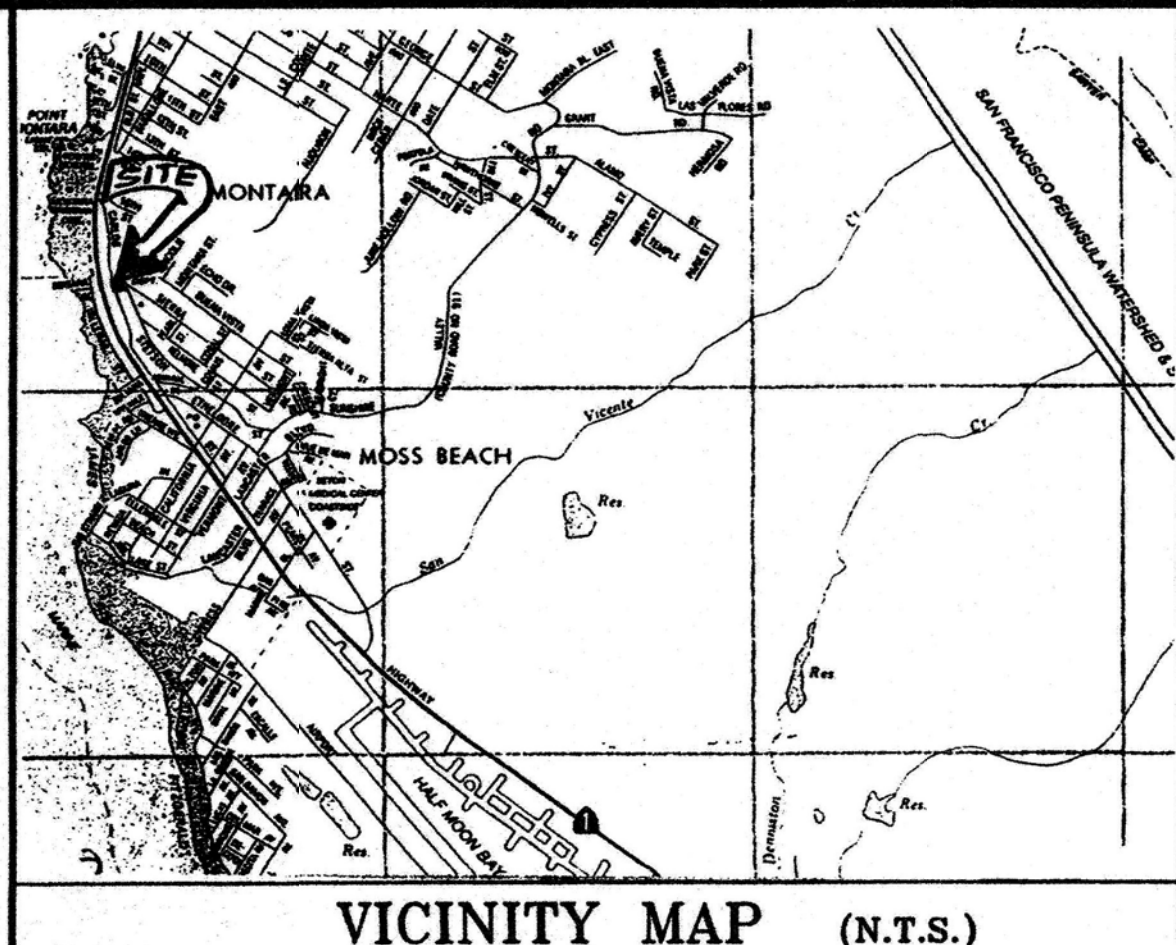
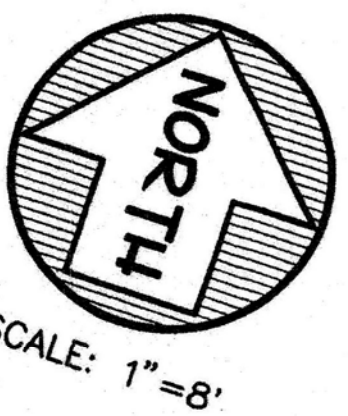
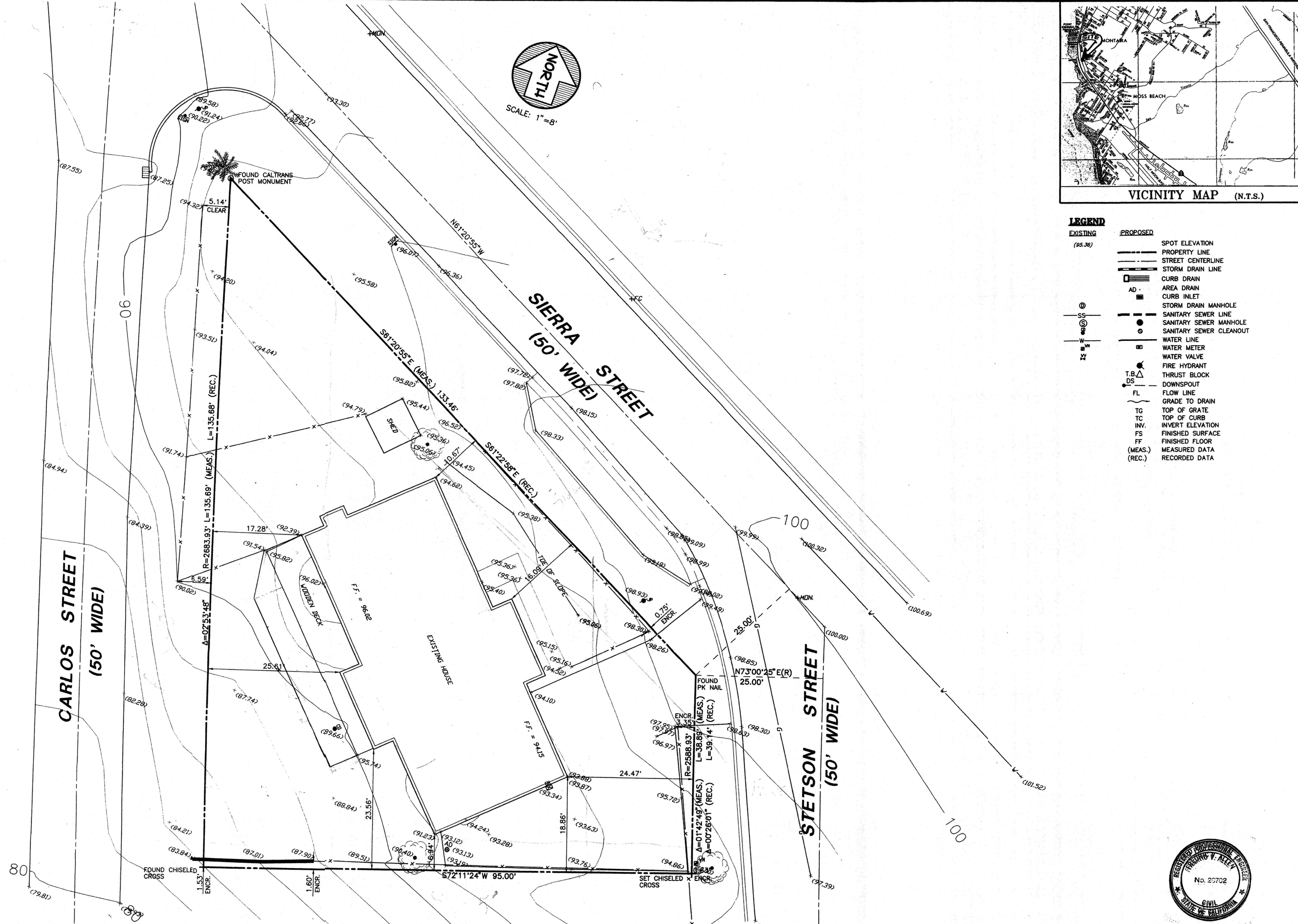
DRAWN: ECL

JOB: HIRST-MCAFEE

SHEET:

A0.01

OF SHEETS



LEGEND

EXISTING (95.36)	PROPOSED	DESCRIPTION
(Symbol)	(Symbol)	SPOT ELEVATION
(Symbol)	(Symbol)	PROPERTY LINE
(Symbol)	(Symbol)	STREET CENTERLINE
(Symbol)	(Symbol)	STORM DRAIN LINE
(Symbol)	(Symbol)	CURB DRAIN
(Symbol)	(Symbol)	AREA DRAIN
(Symbol)	(Symbol)	CURB INLET
(Symbol)	(Symbol)	STORM DRAIN MANHOLE
(Symbol)	(Symbol)	SANITARY SEWER LINE
(Symbol)	(Symbol)	SANITARY SEWER MANHOLE
(Symbol)	(Symbol)	SANITARY SEWER CLEANOUT
(Symbol)	(Symbol)	WATER LINE
(Symbol)	(Symbol)	WATER METER
(Symbol)	(Symbol)	WATER VALVE
(Symbol)	(Symbol)	FIRE HYDRANT
(Symbol)	(Symbol)	THRUST BLOCK
(Symbol)	(Symbol)	DOWNSPOUT
(Symbol)	(Symbol)	FLOW LINE
(Symbol)	(Symbol)	GRADE TO DRAIN
(Symbol)	(Symbol)	TOP OF GRATE
(Symbol)	(Symbol)	TOP OF CURB
(Symbol)	(Symbol)	INVERT ELEVATION
(Symbol)	(Symbol)	FINISHED SURFACE
(Symbol)	(Symbol)	FINISHED FLOOR
(Symbol)	(Symbol)	MEASURED DATA (MEAS.)
(Symbol)	(Symbol)	RECORDED DATA (REC.)

PREPARED BY: FREDRIC V. ALLEN, INC.
 1650 Borel Place, Suite 209
 San Mateo, California 94402
 Phone (650)345-7566 Fax (650)345-8607
 Civil Engineering • Land Planning • Surveying

PREPARED FOR: VICTOR BORME
 400 SIERRA STREET
 MOSS BEACH, CA. 94038

TITLE: BOUNDARY & TOPOGRAPHIC SURVEY
 400 SIERRA STREET
 MOSS BEACH CALIFORNIA

SHEET 1
 OF
 1

DATE: 5/1/00
JOB#: 5304



HIRST-McAfee



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

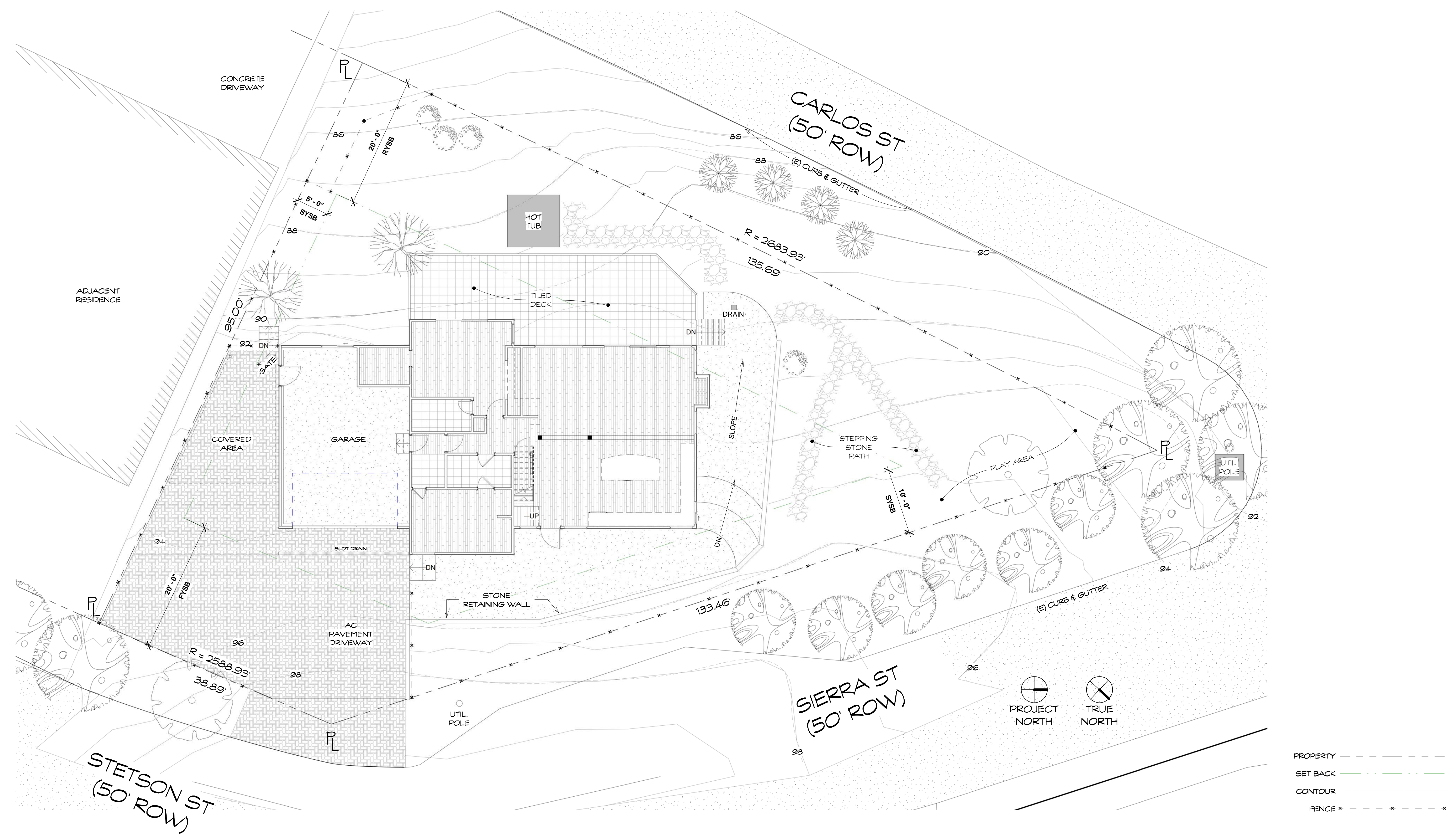
Additions for
Hirst-McAfee
400 Sierra St
Moss Beach, CA

Existing Site Plan

FOR REVIEW ONLY

DATE: 1/25/23
SCALE: 1/8" = 1'-0"
DRAWN: ECL
JOB: HIRST-MCAFFEE

SHEET:
A0.03
OF SHEETS



1 Site - Existing
1/8" = 1'-0"

THIS SITE PLAN IS BASED ON BOUNDARY & TOPOGRAPHICAL SURVEY
BY FREDRIC V ALLEN, INC
DATED MAY 2000

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REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

Additions for
Hirst-McAfee
400 Sierra St
Moss Beach, CA

New Site Plan

FOR REVIEW ONLY

DATE: 1/25/23

SCALE: 1/8" = 1'-0"

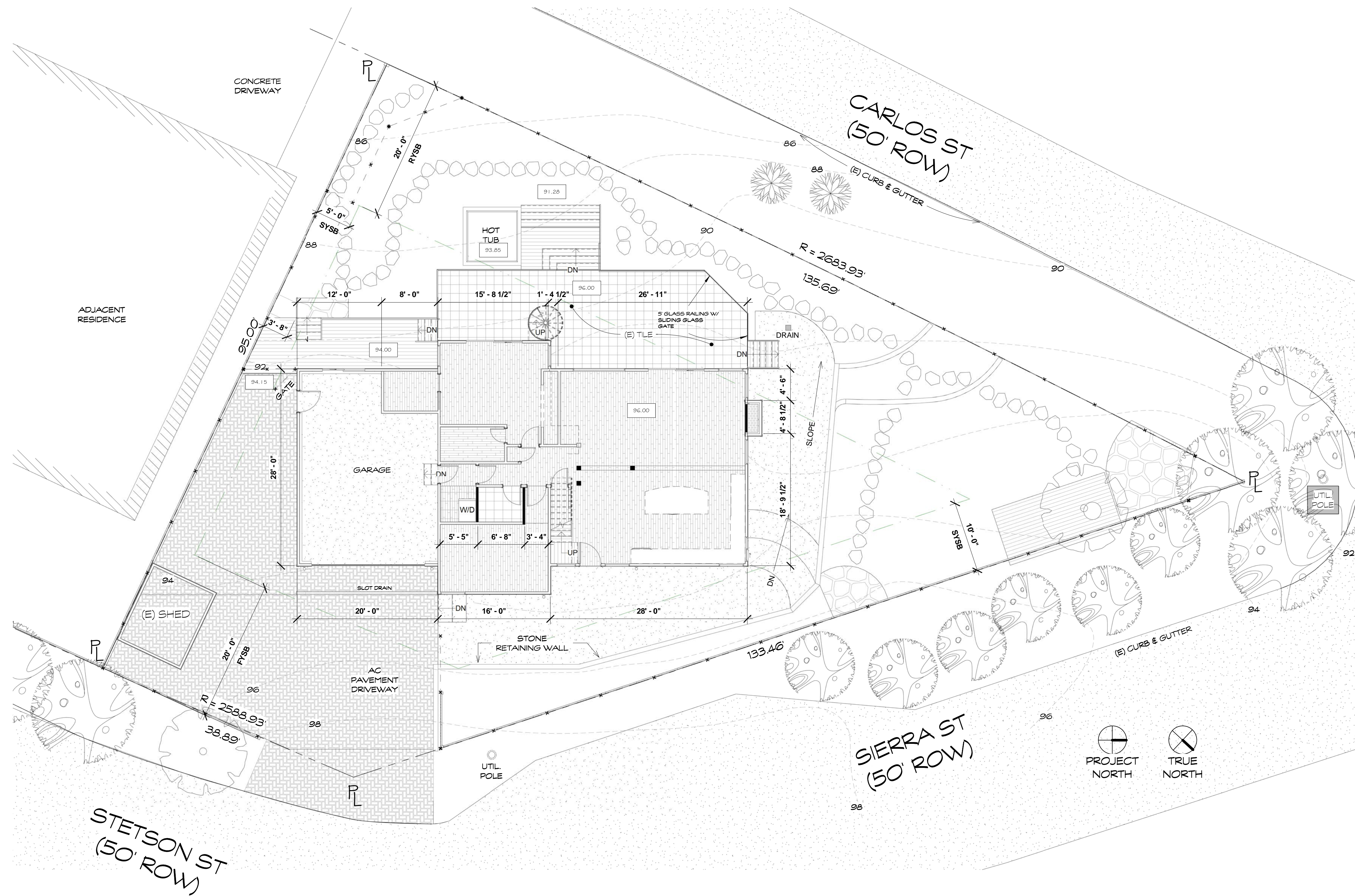
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JOB: HIRST-MCAFEE

SHEET:

A0.04

OF SHEETS

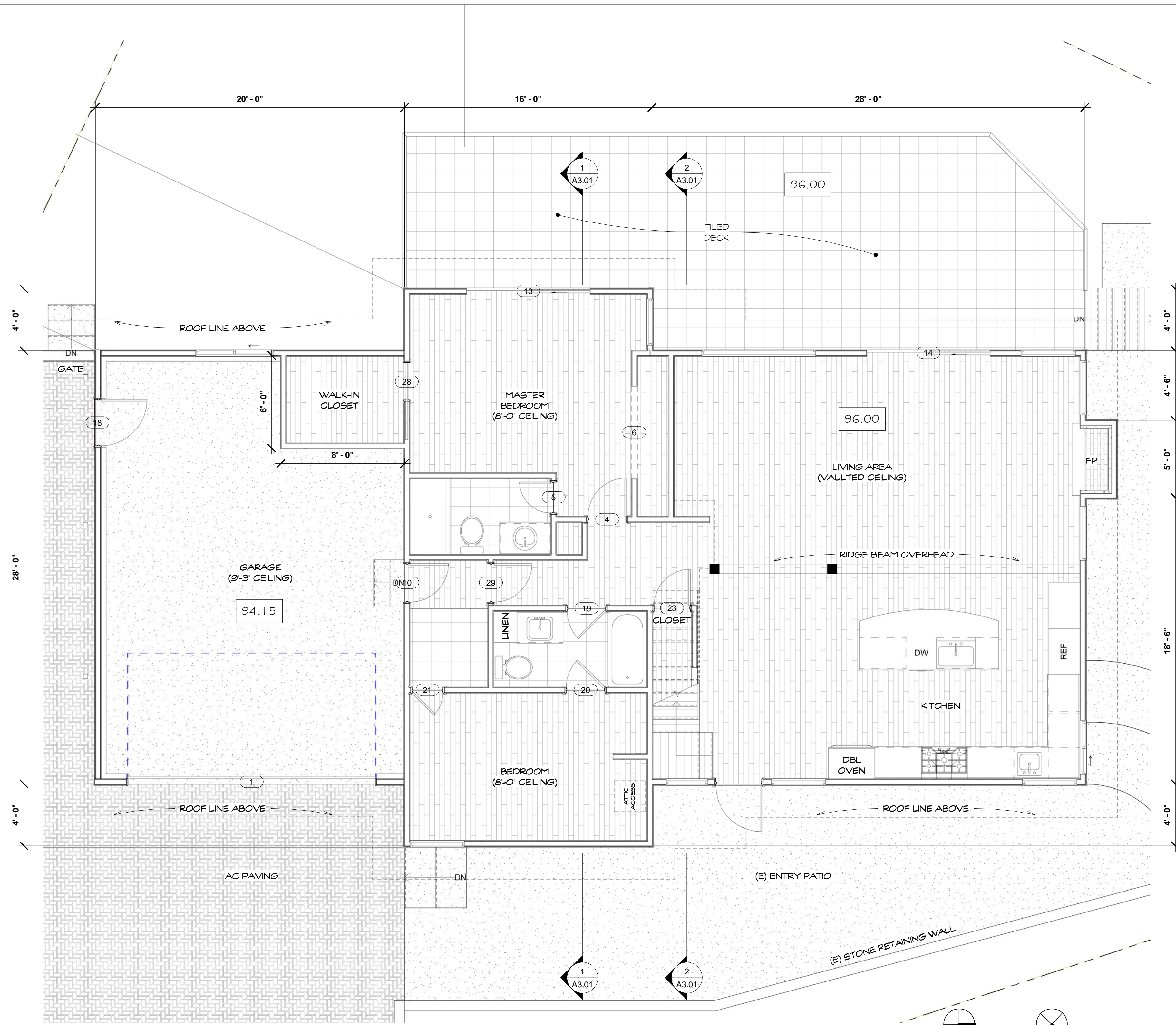


1 Site - New
1/8" = 1'-0"

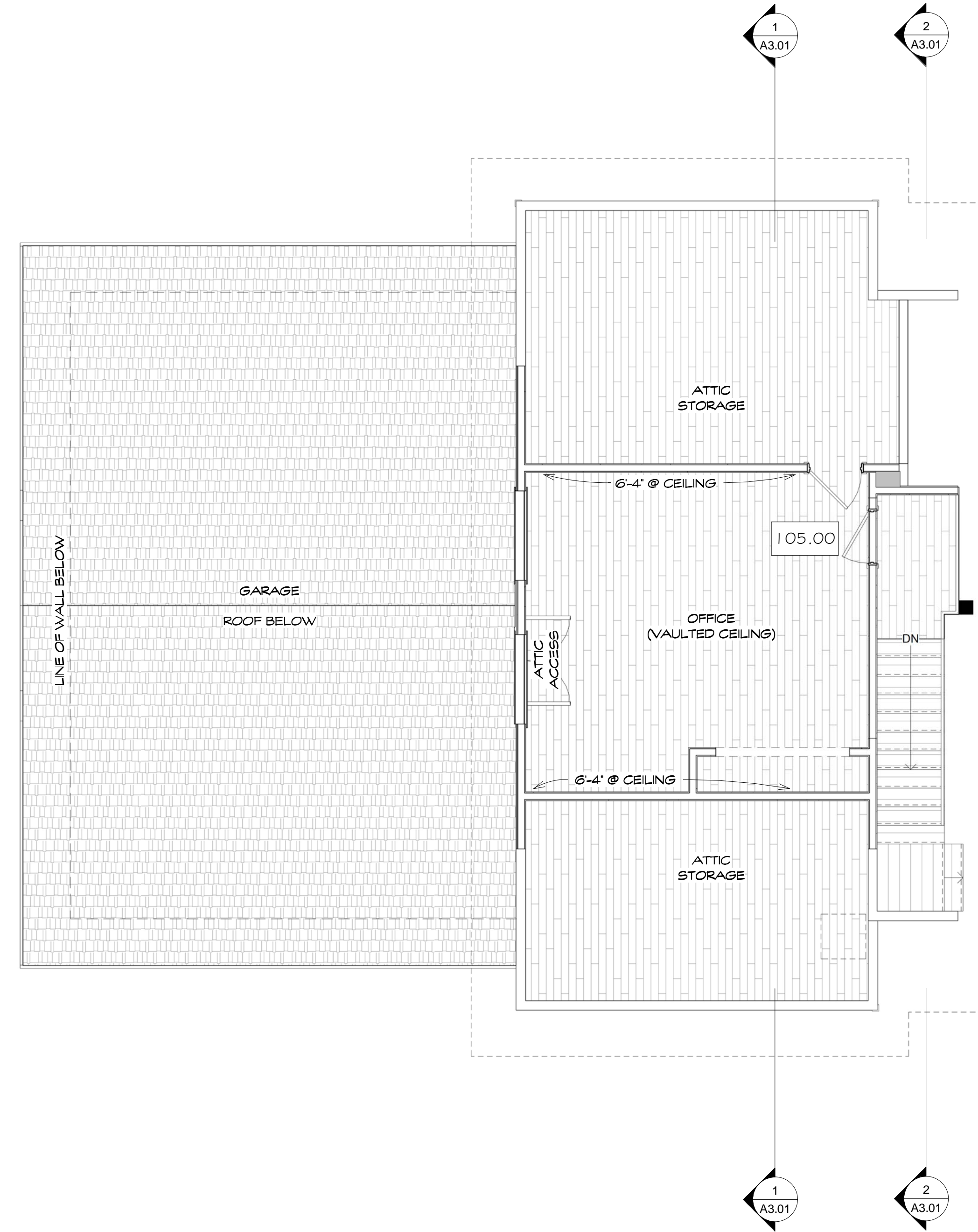
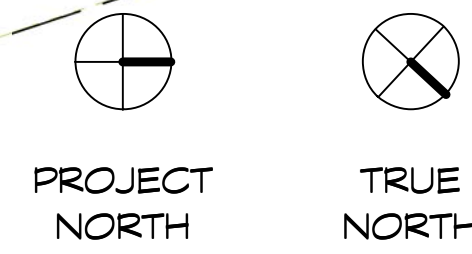
THIS SITE PLAN IS BASED ON BOUNDARY & TOPOGRAPHICAL SURVEY
BY FREDRIC V ALLEN, INC
DATED MAY 2000

SEE LANDSCAPE PLAN FOR PLANTING INFO

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1 Level 1
1/4" = 1'-0"



2 Level 2
1/4" = 1'-0"

REVISIONS



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

Additions for
Hirst-McAfee
400 Sierra St
Moss Beach, CA

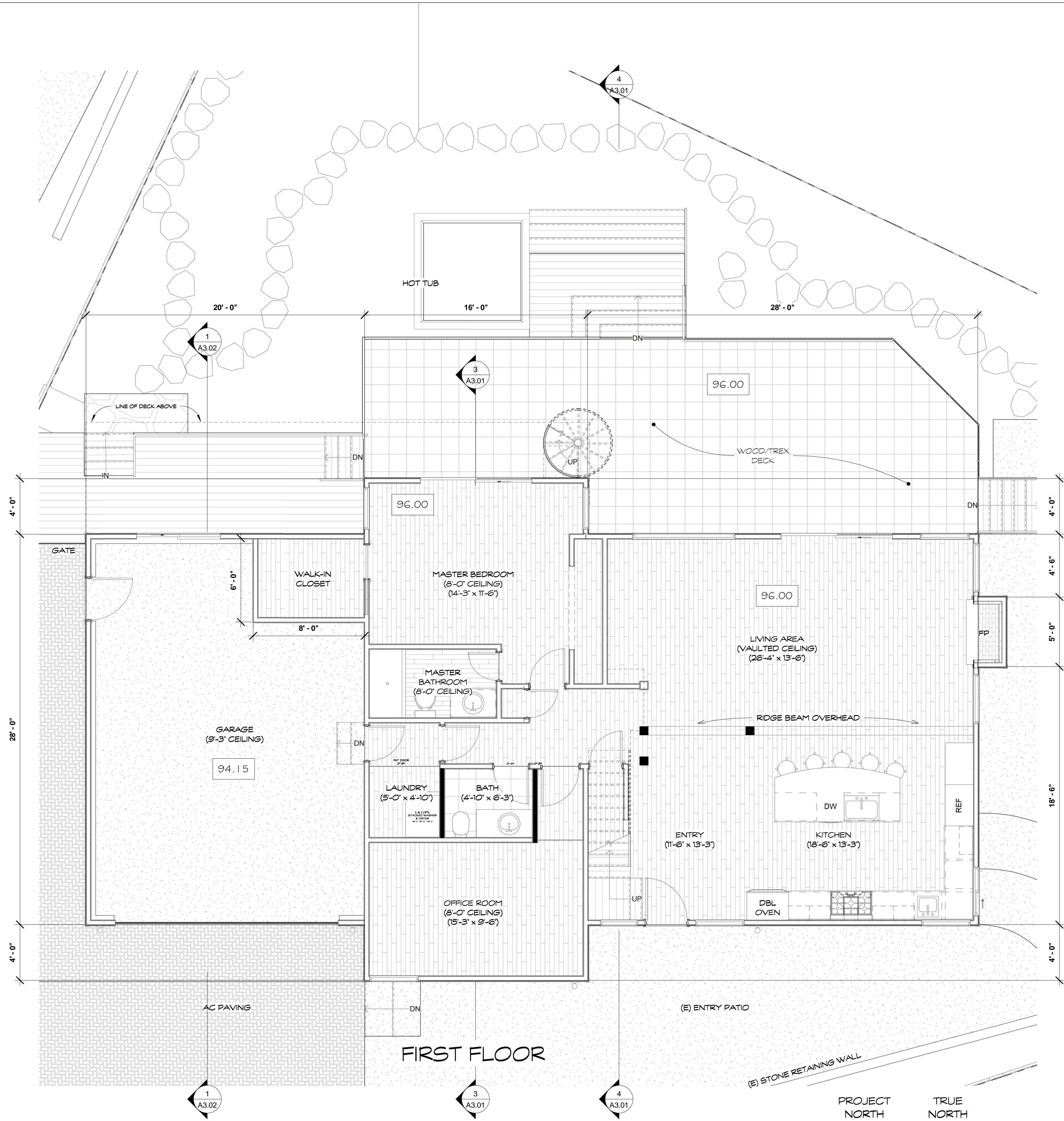
Existing Floor Plan

FOR REVIEW ONLY

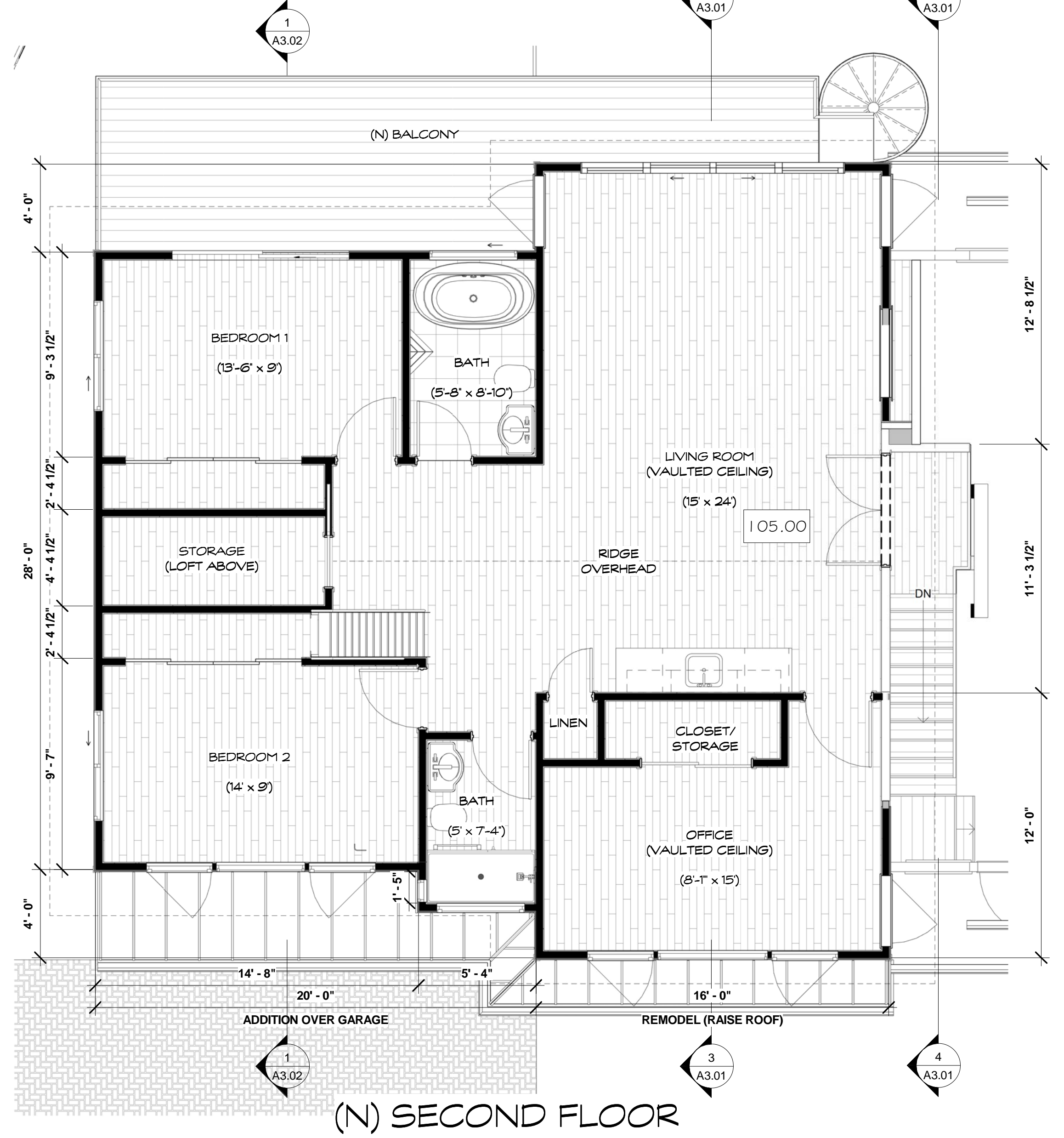
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JOB: HIRST-MCAFFEE

SHEET:
A1.01
OF SHEETS

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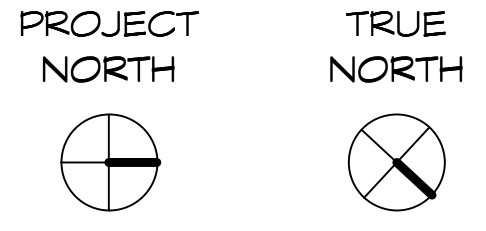


③ Level 2 (Loft)
1/4" = 1'-0"



② Level 2 - New
1/4" = 1'-0"

① Level 1 - New
1/4" = 1'-0"



- (E) WALL TO BE REMOVED
- (E) WALL RAISED TO (N) CEILING
- (N) WALL TO (N) CEILING

REVISIONS

NO.	DATE	DESCRIPTION



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

Additions for
Hirst-McAfee
400 Sierra St
Moss Beach, CA

New Floor Plan

FOR REVIEW ONLY

DATE: 12/5/23
SCALE: 1/4" = 1'-0"
DRAWN: ECL
JOB: HIRST-MCAFFEE

SHEET:
A1.02

OF SHEETS



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

Additions for
Hirst-McAfee
400 Sierra St
Moss Beach, CA

Floor Area Ratio

FOR REVIEW ONLY

DATE: 12/5/23
SCALE: 3/16" = 1'-0"
DRAWN: ECL
JOB: HIRST-MCAFFEE

SHEET: A1.04

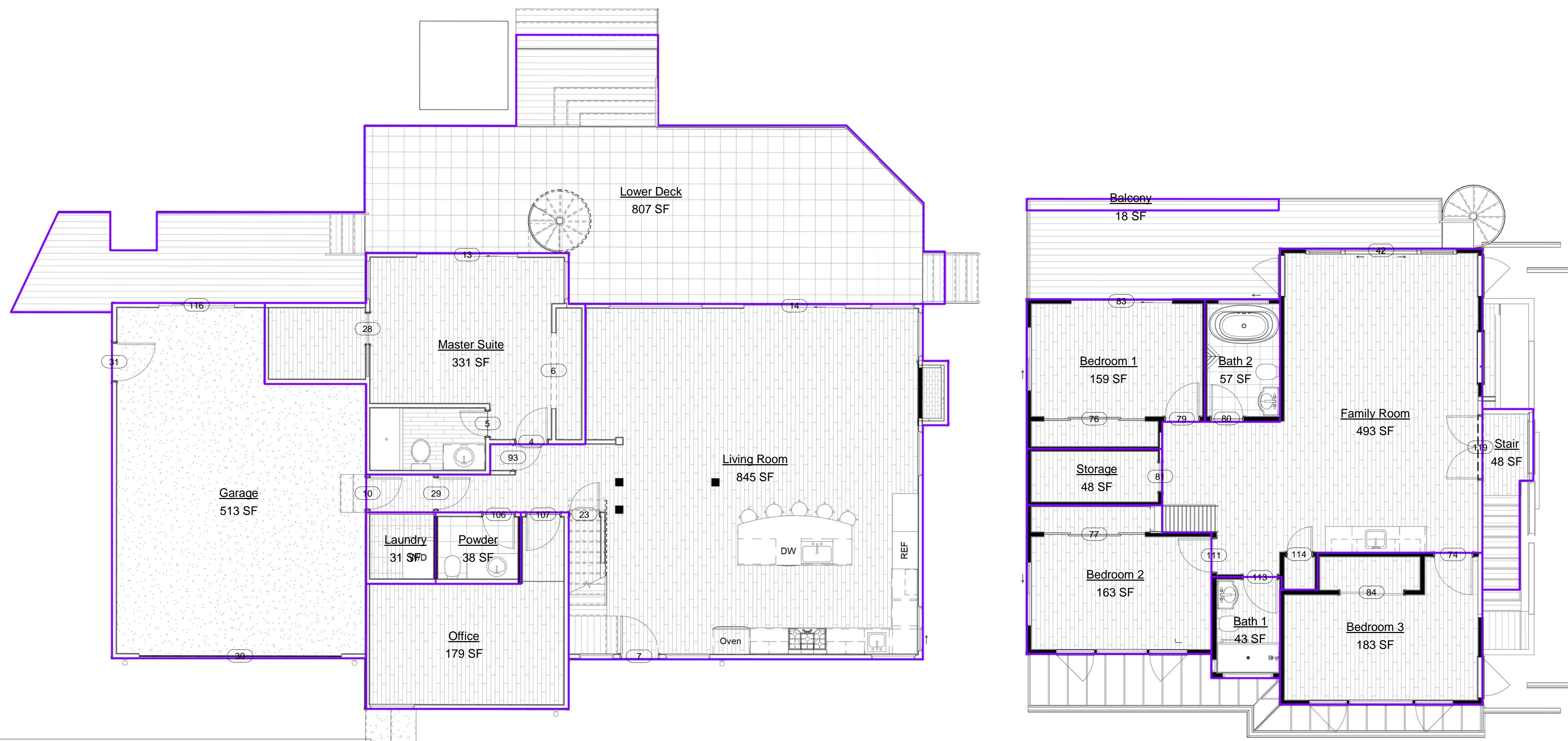
OF SHEETS

Area Schedule (Gross Building)

Name	Area	L.C.	F.A.
Level 1			
Master Suite	331 SF	Yes	Yes
Living Room	845 SF	Yes	Yes
Laundry	31 SF	Yes	Yes
Powder	38 SF	Yes	Yes
Office	179 SF	Yes	Yes
Garage	513 SF	Yes	Yes
Lower Deck	807 SF	Yes	
Level 2			
Storage	48 SF	No	Yes
Bedroom 1	159 SF	No	Yes
Balcony	18 SF	No	
Family Room	493 SF	No	Yes
Bath 2	57 SF	No	No
Bedroom 2	163 SF		Yes
Bath 1	43 SF		Yes
Bedroom 3	183 SF		Yes
Stair	48 SF		Yes
Level 2 (Loft)			
Loft	200 SF		Yes
Storage	31 SF		Yes

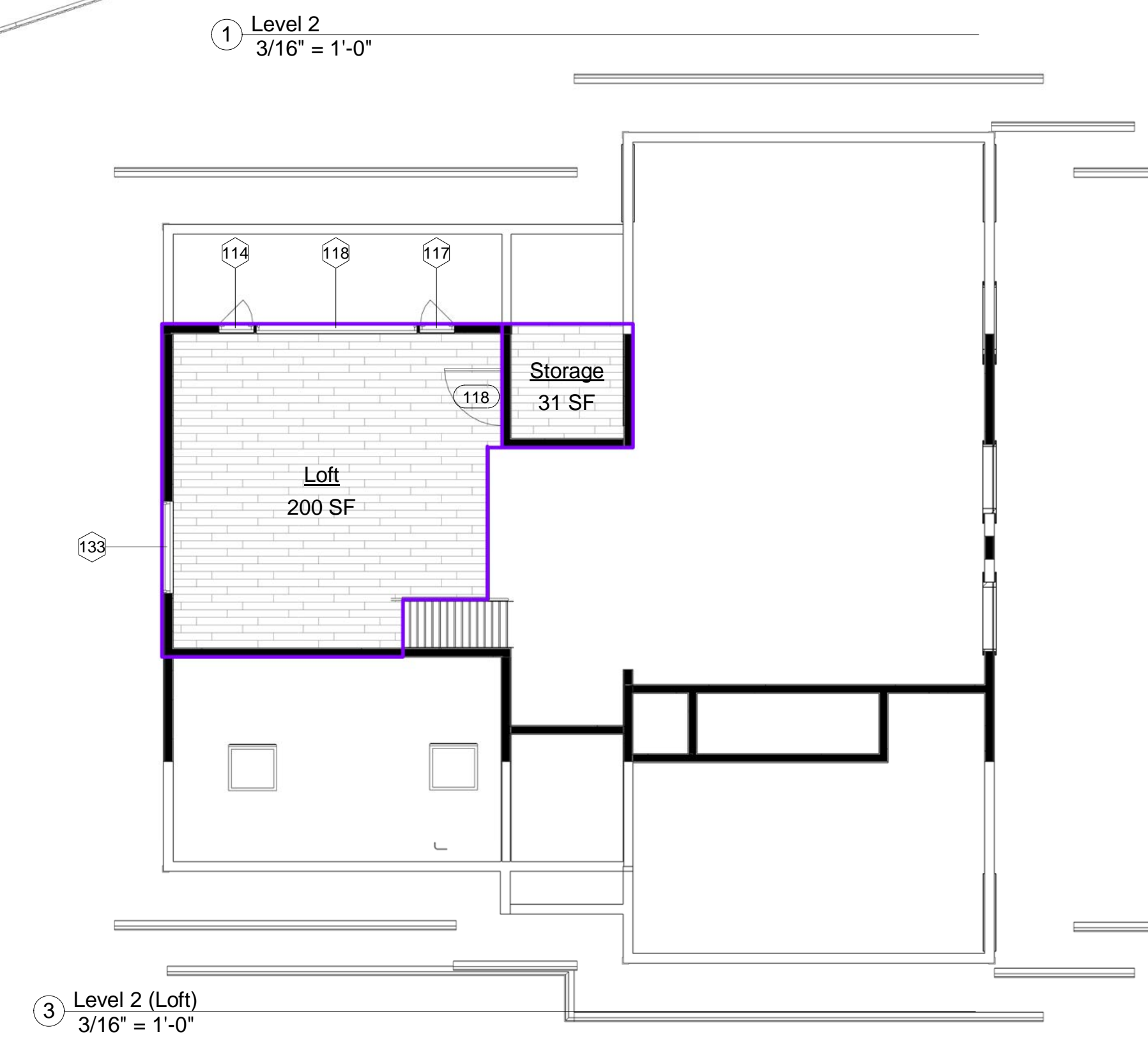
Door Schedule

Mark	Room	Type	Width	Height	Comments
Level 0					
12			16'-0"	7'-0"	
Level 0 - Ave Grade					
30	Garage	Garage Door	16'-0"	8'-0"	Existing
31	Garage	Exterior Door	3'-0"	6'-6"	Existing
116	Garage	Sliding Glass Door	6'-0"	6'-6"	New
Level 1					
4	Master Suite	Hollow Core	2'-6"	6'-8"	Existing
5	Master Suite	Hollow Core	2'-0"	6'-8"	Existing
6	Master Suite	Door Opening	0'-0"	0'-0"	Existing
7	Living Room	Entry Door	3'-0"	7'-0"	Existing
10	Garage	Garage Door	2'-6"	6'-6"	Existing
19	Master Suite	Sliding Glass Door	6'-0"	6'-6"	Existing
14	Living Room	Sliding Glass Door	6'-0"	6'-6"	Existing
19			2'-6"	6'-8"	Demo
21			2'-0"	6'-8"	Demo
23	Living Room	Hollow Core	2'-4"	6'-8"	Existing
26	Master Suite	Pocket Door	2'-6"	6'-8"	Existing
29	Living Room	Hollow Core	2'-6"	6'-8"	Existing
89	Living Room	Hollow Core	2'-0"	6'-8"	Existing
106	Powder	Hollow Core	2'-6"	6'-8"	New
107	Office	Hollow Core	2'-8"	6'-8"	New
120			3'-0"	7'-0"	
122			16'-0"	7'-0"	
123			6'-0"	7'-0"	
Level 2					
42	Family Room	4 Panel Glass Slider	12'-0"	7'-0"	New
74	Bedroom 3	Hollow Core	3'-0"	6'-8"	New
76	Bedroom 1	4 Panel Slider	6'-0"	6'-8"	New
77	Bedroom 2	4 Panel Slider	5'-0"	6'-8"	New
79	Bedroom 1	Hollow Core	2'-6"	6'-8"	New
80	Bath 2	Hollow Core	2'-6"	6'-8"	New
81	Storage	Pocket Door	2'-4"	6'-8"	New
83	Bedroom 1	Sliding Glass Door	6'-0"	7'-0"	New
84	Bedroom 3	Int. Slider wood Panel	5'-0"	6'-8"	New
111	Bedroom 2	Hollow Core	2'-6"	6'-8"	New
113	Bath 2	Hollow Core	2'-6"	6'-8"	New
114	Family Room	Hollow Core	2'-0"	6'-8"	New
119	Family Room	Int. Full Lite French Doors	5'-0"	7'-0"	New
Loft					
116	Loft		2'-6"	3'-0"	New



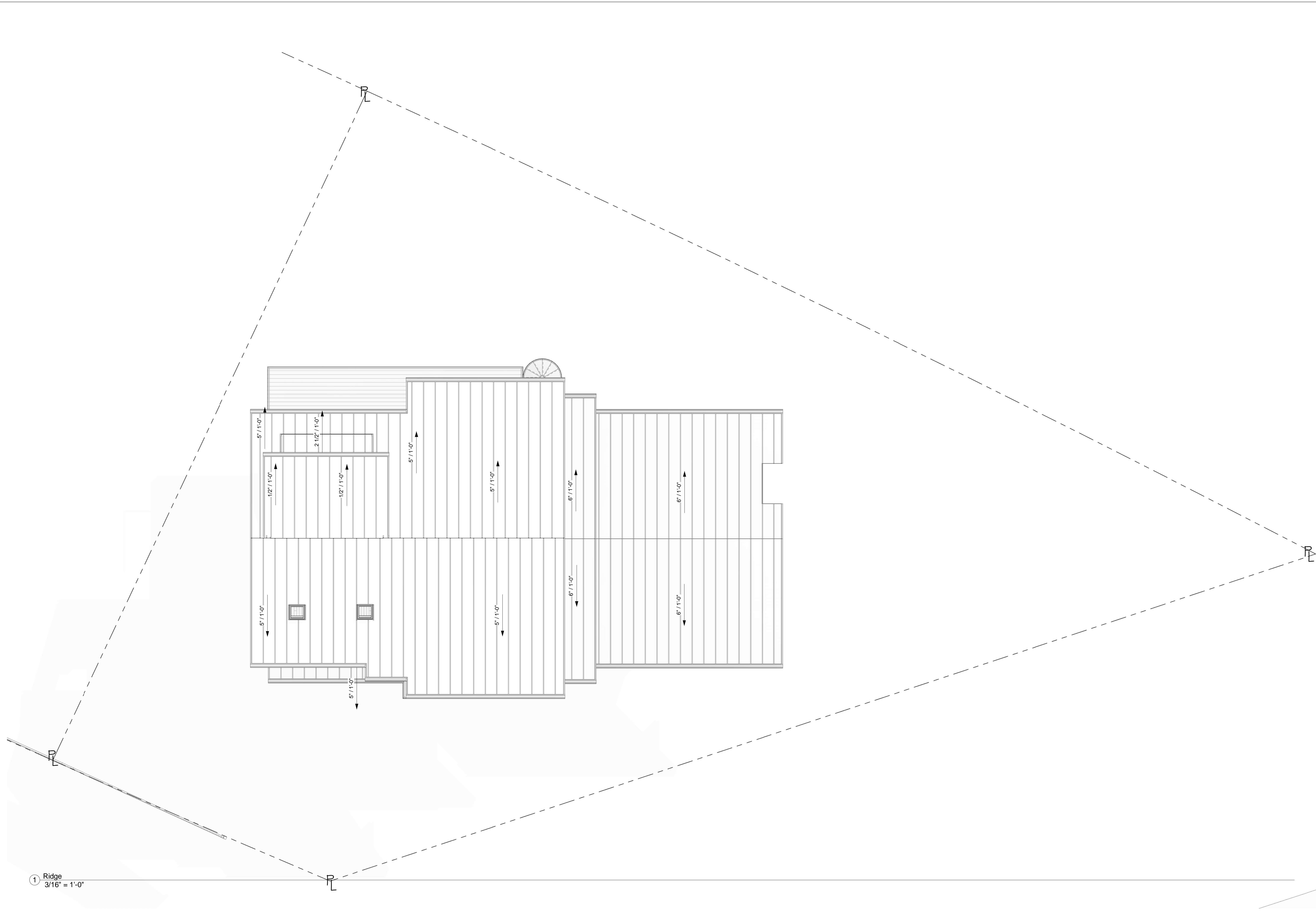
Window Schedule

Mark	Room	Type	Width	Height	Rough Width	Rough Height	SI Height	Comments
Level 1								
126		Fixed	3'-0"	4'-6"	4'-6 1/2"	2'-8 7/32"		
128		Single Awning	3'-0"	2'-0"	3'-0 1/2"	0'-3 29/32"		
5	Kitchen	Fixed	3'-6"	6'-6"	3'-6 1/2"	6'-6 1/2"	0'-6"	Existing
6	Kitchen	Fixed	3'-6"	3'-0"	3'-6 1/2"	3'-0 1/2"	3'-6"	Existing
11	Kitchen	Double Slider	3'-6"	3'-0"	3'-6 1/2"	3'-0 1/2"	3'-6"	Existing
9	Living Room	Fixed	3'-6"	6'-6"	3'-6 1/2"	6'-6 1/2"	0'-2"	Existing
10	Living Room	Fixed	3'-6"	6'-6"	3'-6 1/2"	6'-6 1/2"	0'-2"	Existing
12	Living Room	Fixed	3'-6"	6'-6"	3'-6 1/2"	6'-6 1/2"	0'-2"	Existing
23	Living Room	Fixed	2'-8"	4'-0"	2'-8 1/2"	4'-0 1/2"	3'-0"	Existing
26	Living Room	Single Awning	4'-0"	1'-6"	4'-0 1/2"	1'-6 1/2"	0'-6"	Existing
27	Living Room	Fixed	1'-6"	1'-6"	1'-6 1/2"	1'-6 1/2"	0'-6"	Existing
28	Living Room	Fixed	1'-6"	1'-6"	1'-6 1/2"	1'-6 1/2"	0'-6"	Existing
29	Living Room	Fixed	7'-4 1/2"	4'-6"	7'-5"	4'-6 1/2"	2'-3 1/4"	Existing
24	Master Suite	Fixed	3'-0"	4'-6"	3'-0 1/2"	4'-6 1/2"	2'-8 1/4"	Existing
25	Master Suite	Single Awning	3'-0"	2'-0"	3'-0 1/2"	2'-0 1/2"	0'-6"	Existing
7	Office	Fixed	3'-6"	4'-6"	3'-6 1/2"	4'-6 1/2"	2'-8 1/4"	Existing
22	Office	Single Awning	3'-6"	2'-0"	3'-6 1/2"	2'-0 1/2"	0'-6"	Existing
Level 1 - Top								
124	Family Room	Coamert Single	3'-0"	4'-0"	3'-0 1/2"	4'-0 1/2"	4'-0"	New
16	Kitchen	Custom Poly Window	3'-6"	0'-2"	2'-0"		-0'-2"	Existing
14	Living Room	Custom Poly Window	3'-6"	4'-8"	2'-0"		-0'-2"	Existing
17	Living Room	Custom Poly Window	3'-6"	0'-2"	2'-0"		-0'-2"	Existing
Level 2								
120	Bath 1	Single Awning	4'-0"	1'-6"	4'-0 1/2"	1'-6 1/2"	5'-8 29/32"	New
65	Bath 2	Double Slider	4'-0"	1'-0"	4'-0 1/2"	1'-0 1/2"	2'-6"	New
66	Bath 2	Fixed	4'-0"	4'-0"	4'-0 1/2"	4'-0 1/2"	3'-6"	New
66	Bedroom 1	Double Slider	5'-0"	4'-0"	5'-0 1/2"	4'-0 1/2"	3'-0"	New
62	Bedroom 2	Coamert Single	3'-0"	4'-0"	3'-0 1/2"	4'-0 1/2"	3'-0"	New
63	Bedroom 2	Coamert Single	3'-0"	4'-0"	3'-0 1/2"	4'-0 1/2"	3'-0"	New
64	Bedroom 2	Fixed	4'-0"	4'-0"	4'-0 1/2"	4'-0 1/2"	3'-0"	New
67	Bedroom 2	Double Slider	5'-0"	4'-0"	5'-0 1/2"	4'-0 1/2"	3'-0"	New
32	Bedroom 3	Fixed	5'-0"	4'-0"	5'-0 1/2"	4'-0 1/2"	3'-0"	New
37	Bedroom 3	Coamert Single	3'-0"	4'-0"	3'-0 1/2"	4'-0 1/2"	3'-0"	New
60	Bedroom 3	Fixed	3'-0"	4'-0"	3'-0 1/2"	4'-0 1/2"	3'-0"	New
61	Bedroom 3	Coamert Single	3'-0"	4'-0"	3'-0 1/2"	4'-0 1/2"	3'-0"	New
69	Bedroom 3	Custom Poly Window	3'-0 1/2"	0'-2"	2'-0"		7'-6"	New
59	Family Room	Coamert Single	3'-0"	4'-0"	3'-0 1/2"	4'-0 1/2"	3'-0"	New
112	Family Room	Custom Poly Window	3'-0 1/2"	0'-2"	2'-0"		7'-6"	New
77	Family Room	Parallelogram Window	3'-0"	4'-0"			5'-7 13/16"	New
20	Stair	Parallelogram Window	3'-0"	4'-0"			5'-0"	Existing
21	Stair	Parallelogram Window	3'-0"	4'-0"			5'-0"	Existing
Level 2 (Loft)								
106	Bedroom 2	Skylight	2'-0"	2'-0"	2'-0 1/2"	2'-0 1/2"		New
108	Bedroom 2	Skylight	2'-0"	2'-0"	2'-0 1/2"	2'-0 1/2"		New
74	Family Room	Parallelogram Window	3'-0"	4'-0"			0'-6 3/8"	New
75	Family Room	Parallelogram Window	3'-0"	4'-0"			0'-6 3/8"	New
Loft								
114	Loft	Coamert Single	1'-6"	3'-0"	1'-6 1/2"	3'-0 1/2"	3'-5"	New
117	Loft	Coamert Single	1'-6"	3'-0"	1'-6 1/2"	3'-0 1/2"	3'-5"	New
98	Loft	Fixed	7'-0"	3'-0"	7'-0 1/2"	3'-0 1/2"	3'-9"	New
133	Loft	Crucial Window	4'-0"	4'-0"	4'-0 1/2"	4'-0 1/2"	1'-11 3/8"	New



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1 Ridge
3/16" = 1'-0"

REVISIONS



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

Additions for
Hirst-McAfee
400 Sierra St
Moss Beach, CA

Roof Plan

FOR REVIEW ONLY

DATE: 12/5/23

SCALE: 3/16" = 1'-0"

DRAWN: ECL

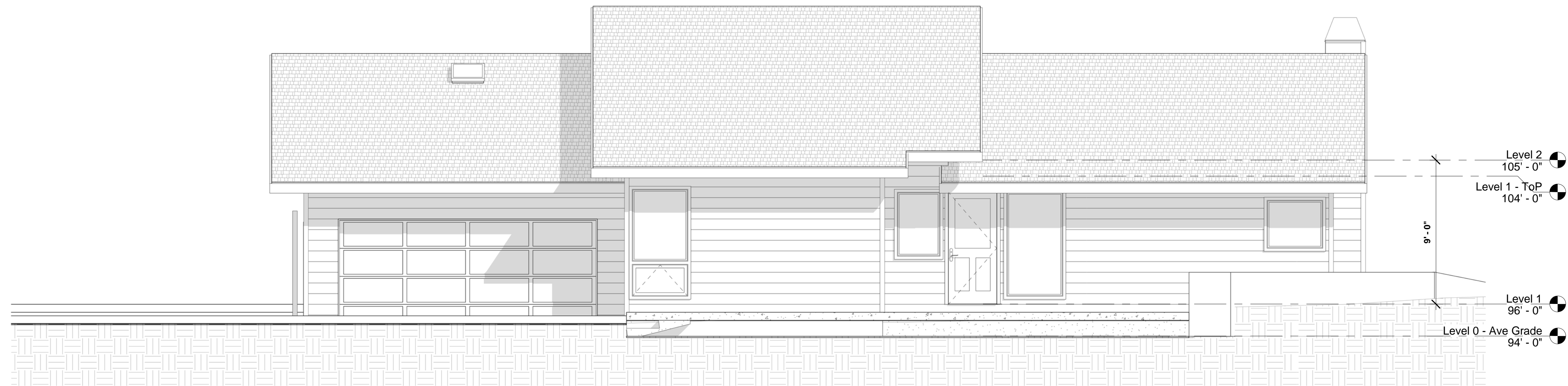
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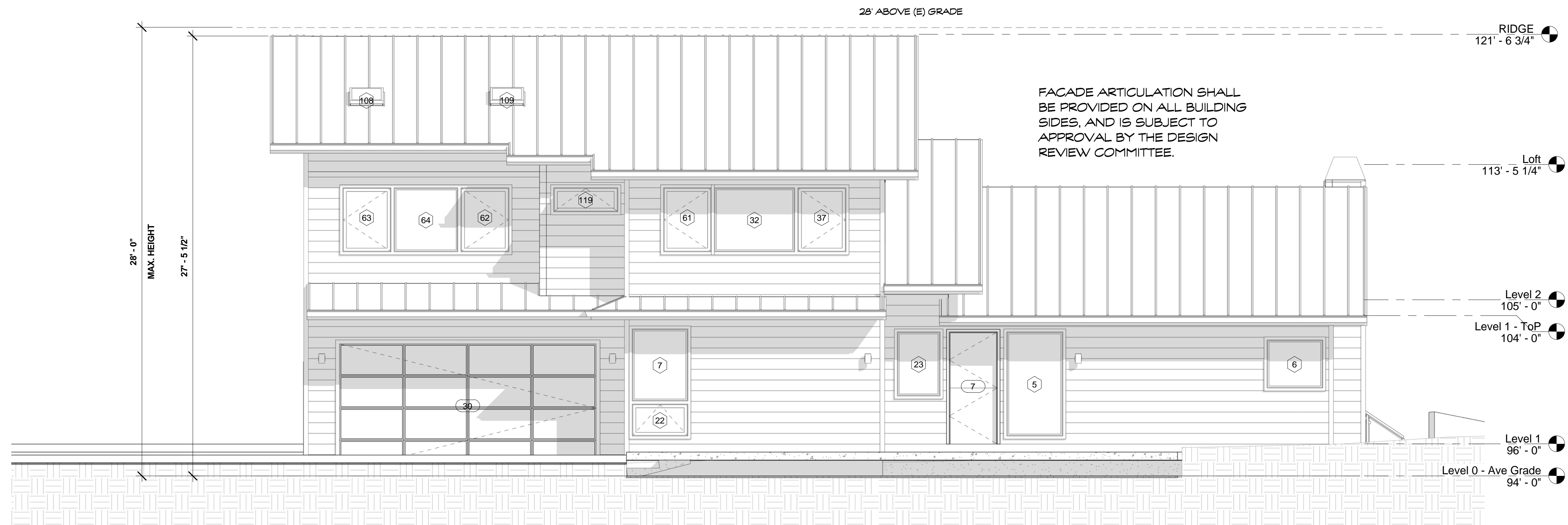
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OF SHEETS

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② East (Front) - Existing
1/4" = 1'-0"



① East (Front) - Proposed
1/4" = 1'-0"

REVISIONS



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
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Additions for
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400 Sierra St
Moss Beach, CA

Elevations - East

FOR
REVIEW
ONLY

DATE: 1/25/23

SCALE: 1/4" = 1'-0"

DRAWN: ECL

JOB: HIRST-MCAFFEE

SHEET:

A2.01

OF SHEETS



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

Additions for
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Moss Beach, CA

Elevations - West

FOR
REVIEW
ONLY

DATE: 1/25/23
SCALE: 1/4" = 1'-0"
DRAWN: ECL
JOB: HIRST-MCAFFEE

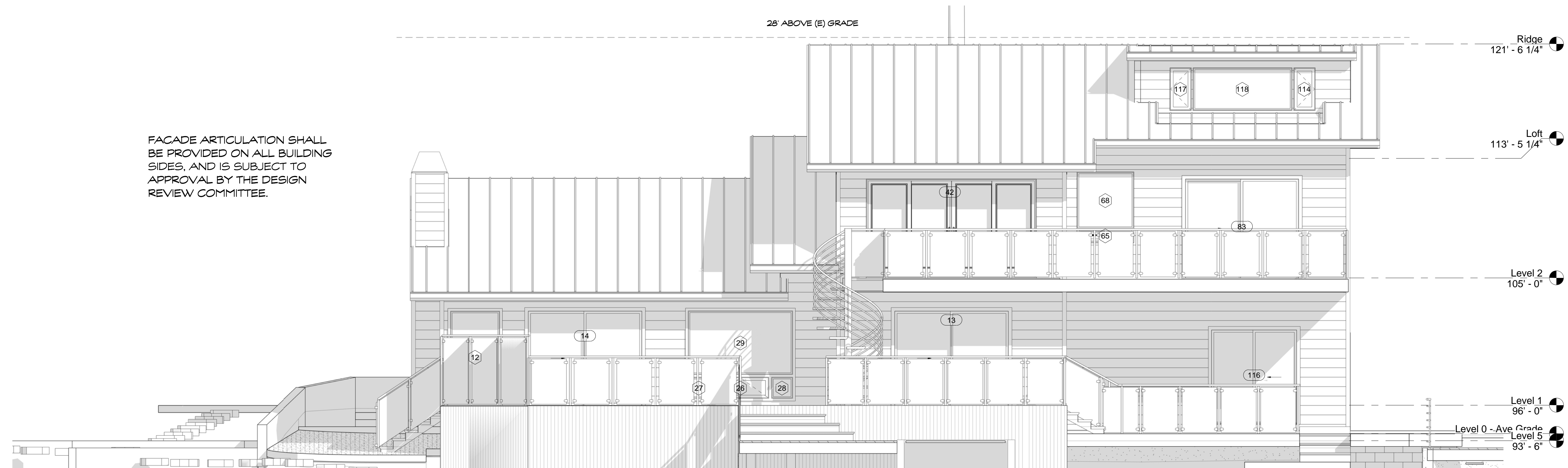
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A2.02
OF SHEETS



① West (Rear) - Existing
1/4" = 1'-0"

FACADE ARTICULATION SHALL
BE PROVIDED ON ALL BUILDING
SIDES, AND IS SUBJECT TO
APPROVAL BY THE DESIGN
REVIEW COMMITTEE.

28' ABOVE (E) GRADE



② West (Rear) - Proposed
1/4" = 1'-0"



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

Additions for
Hirst-McAfee
400 Sierra St
Moss Beach, CA

Elevations - North &
South

FOR
REVIEW
ONLY

DATE: 1/25/23

SCALE: 1/4" = 1'-0"

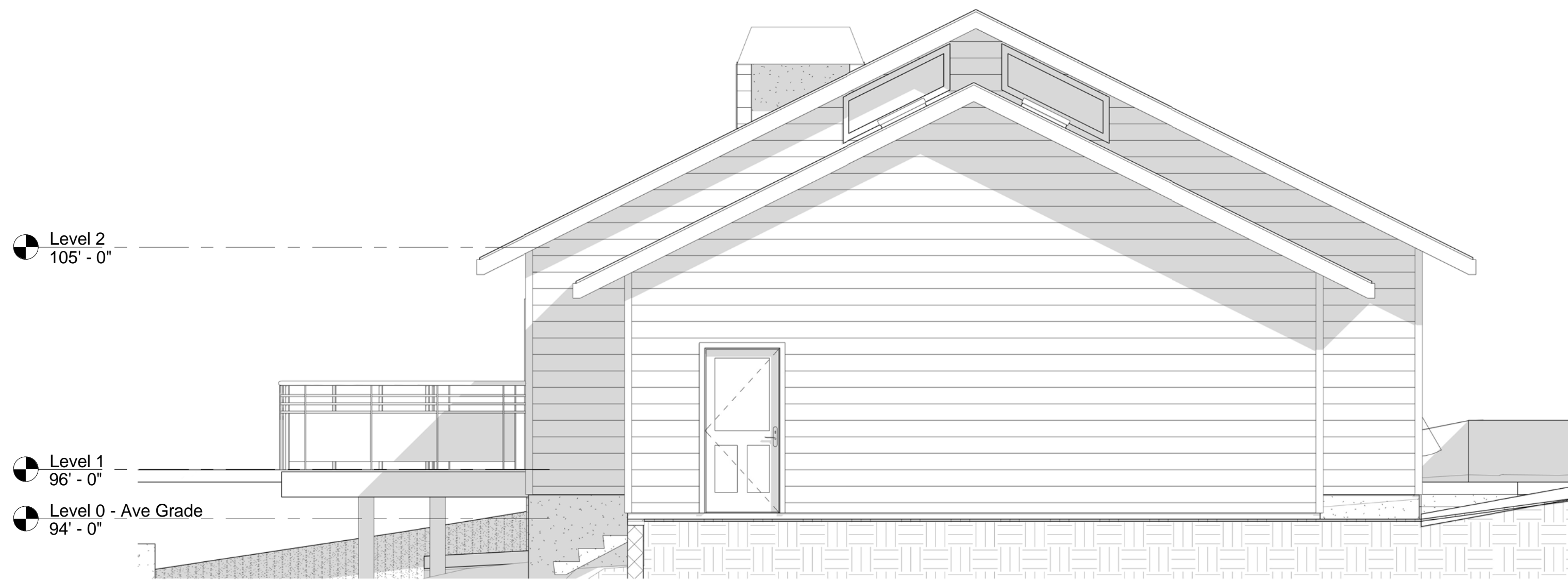
DRAWN: ECL

JOB: HIRST-MCAFFEE

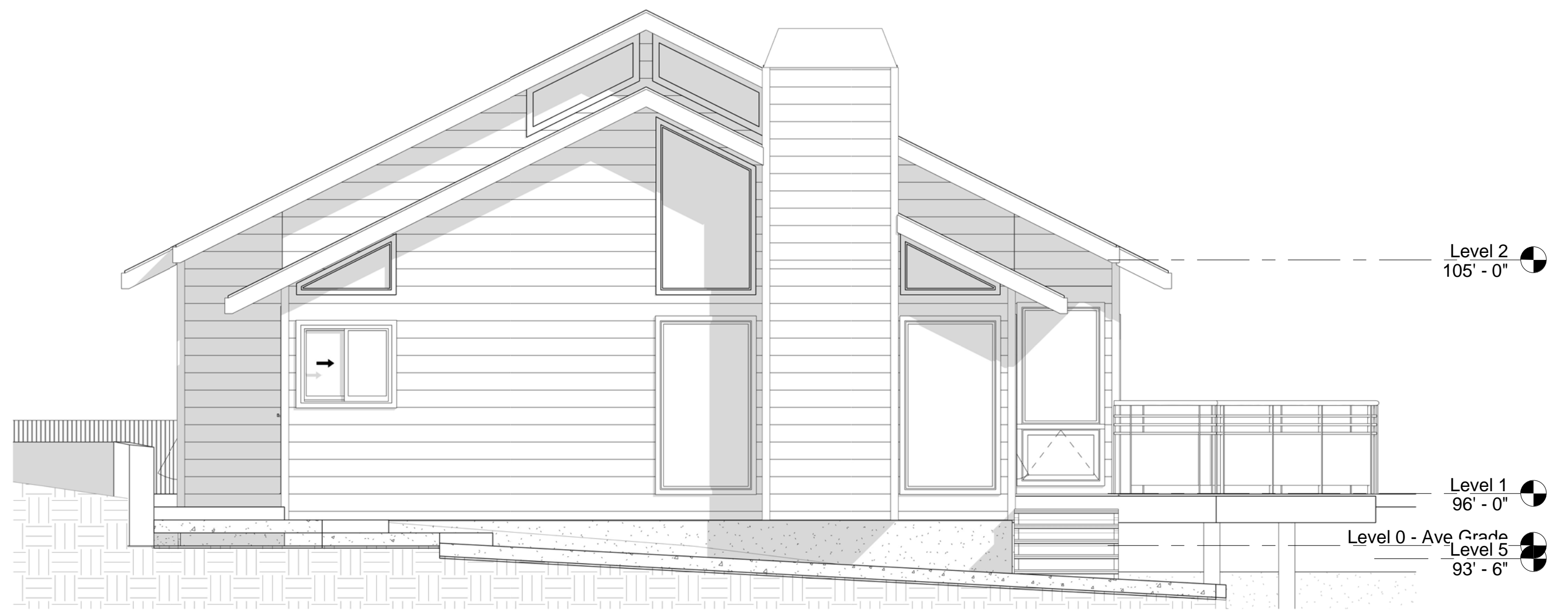
SHEET:

A2.03

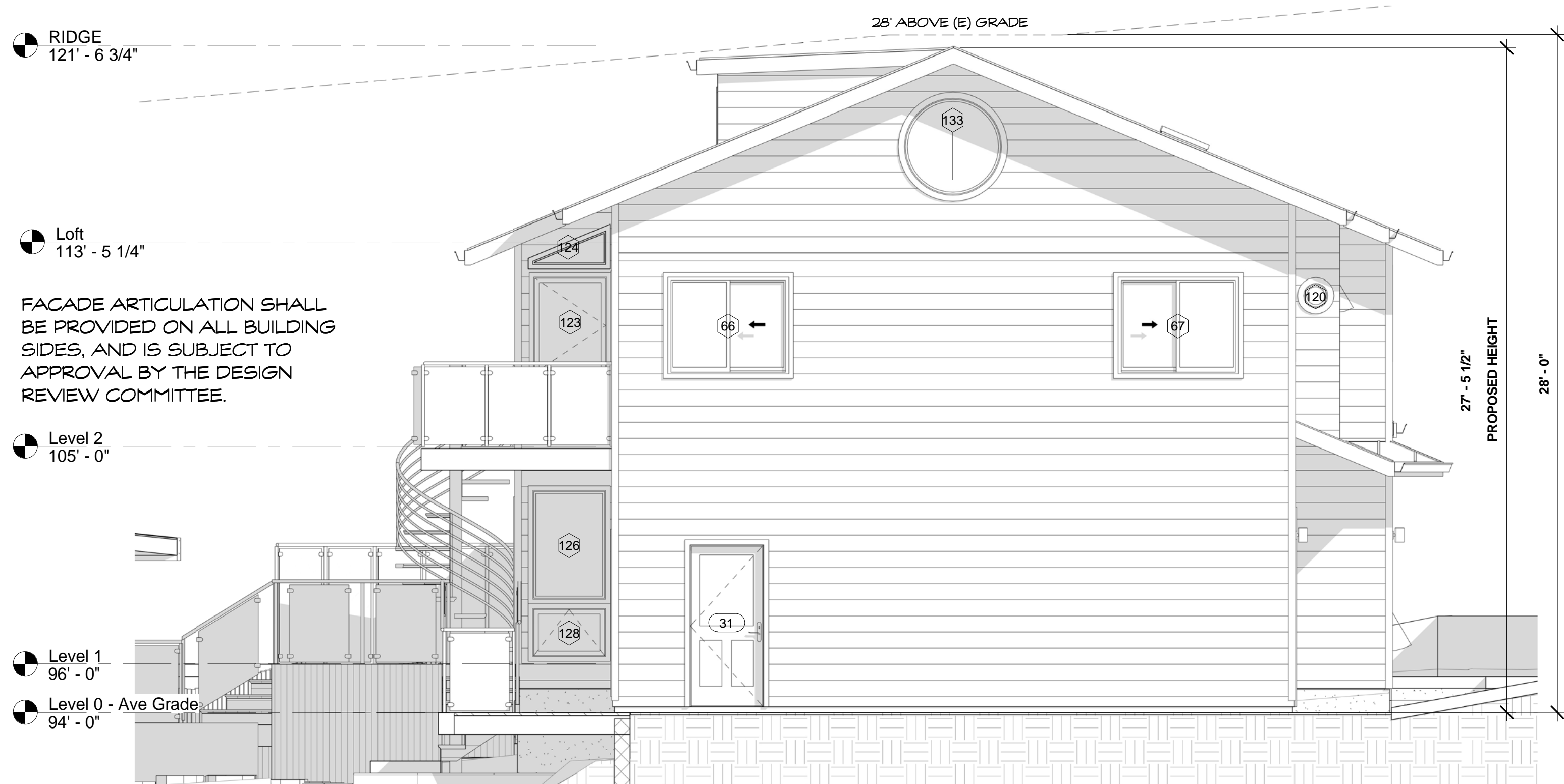
OF SHEETS



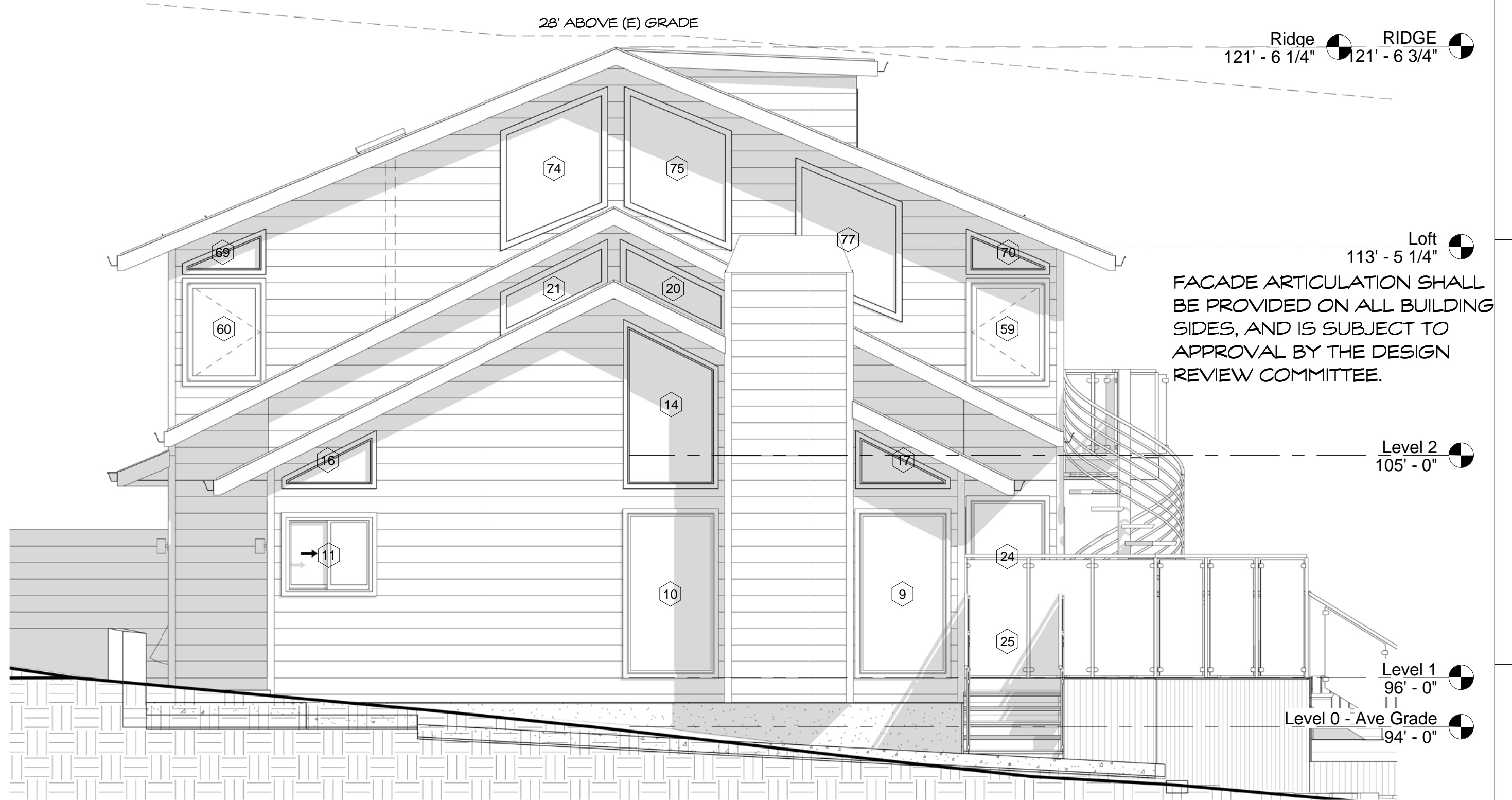
1 South (Left) - Existing
1/4" = 1'-0"



3 North (Right) - Existing
1/4" = 1'-0"



2 South (Left) - Proposed
1/4" = 1'-0"



4 North (Right) - Proposed
1/4" = 1'-0"



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Architect
720 MILL STREET
HALF MOON BAY, CA 94019
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edwardclovearch@gmail.com

Additions for
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400 Sierra St
Moss Beach, CA

Section

FOR
REVIEW
ONLY

DATE: 1/25/23

SCALE: 1/4" = 1'-0"

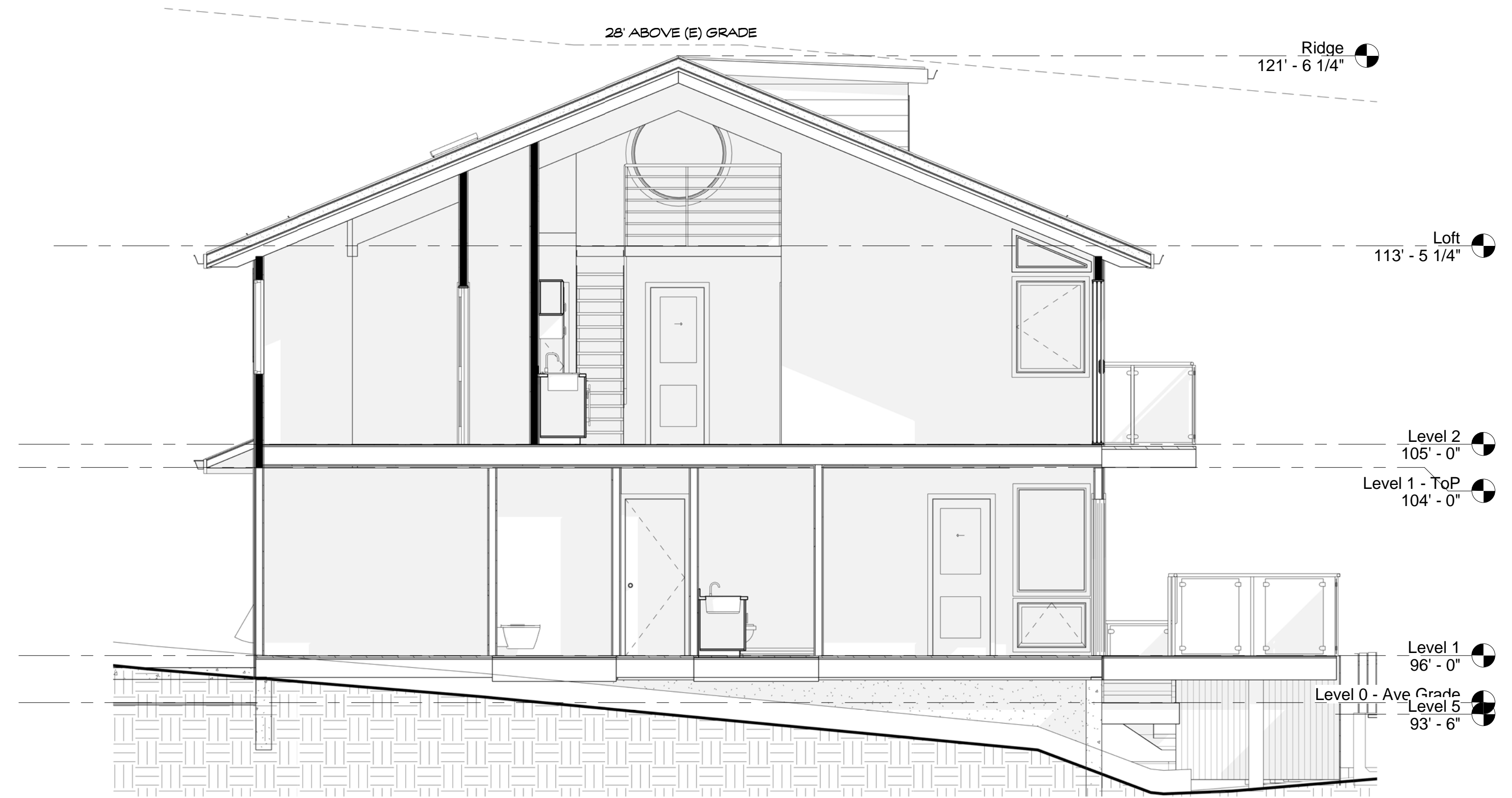
DRAWN: ECL

JOB: HIRST-MCAFEE

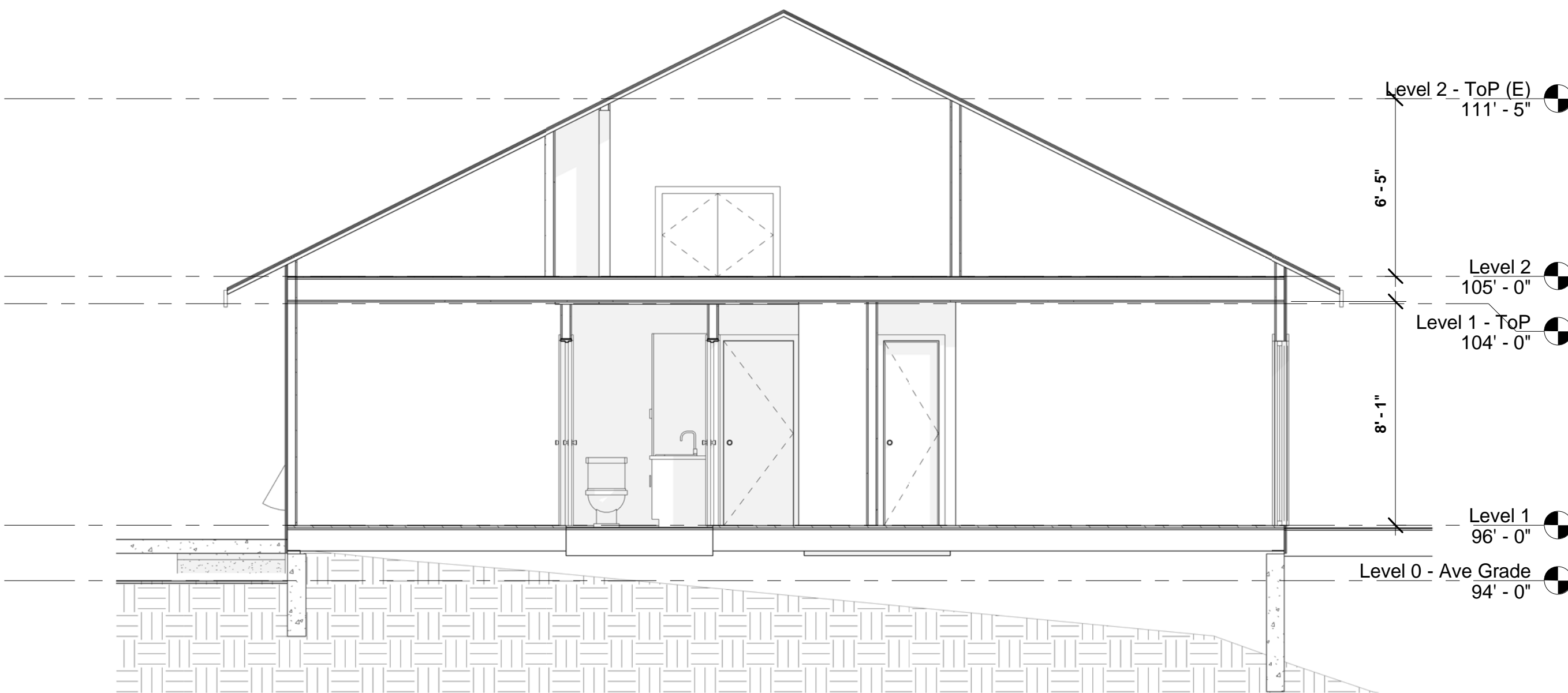
SHEET:

A3.01

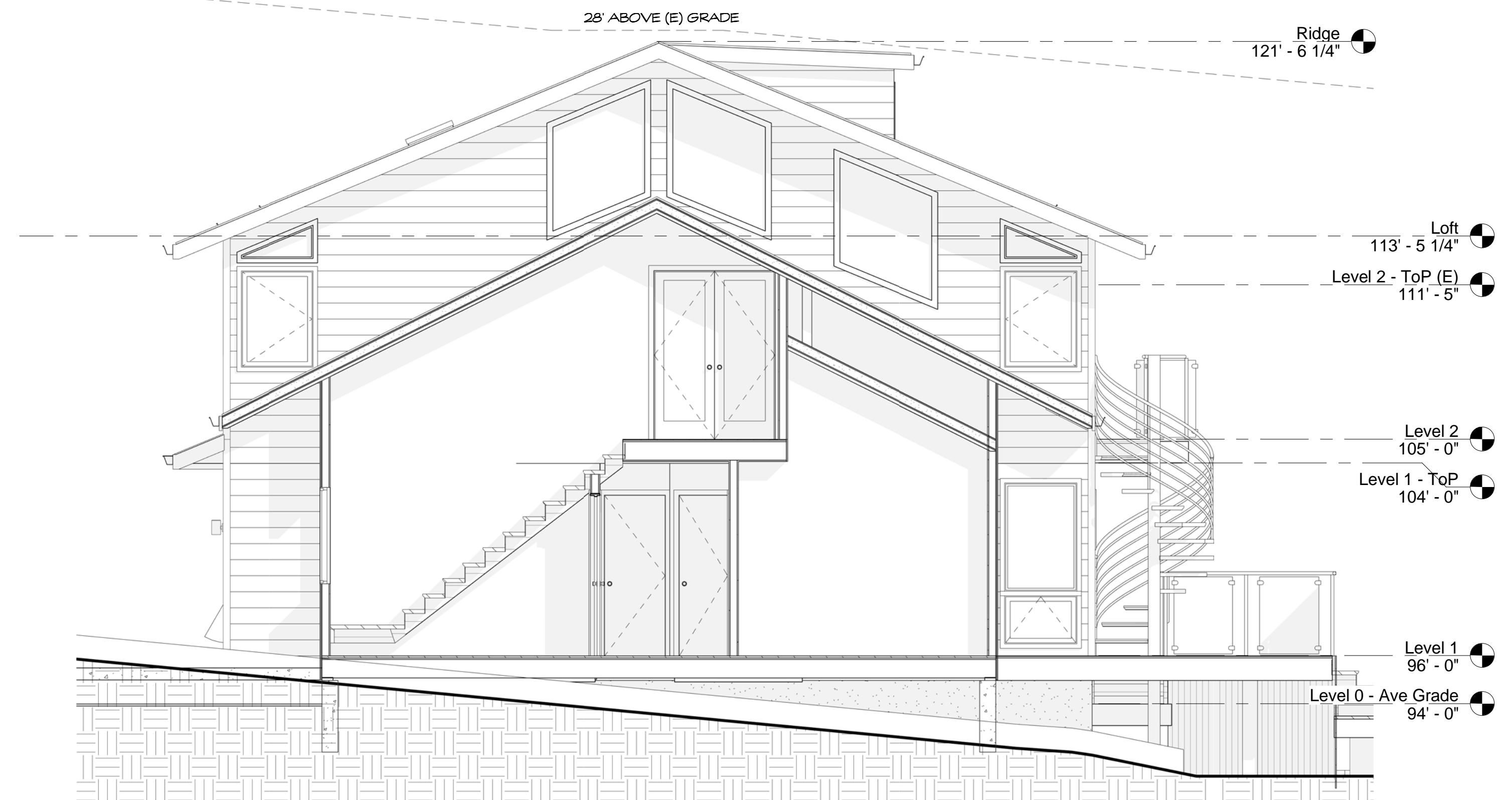
OF SHEETS



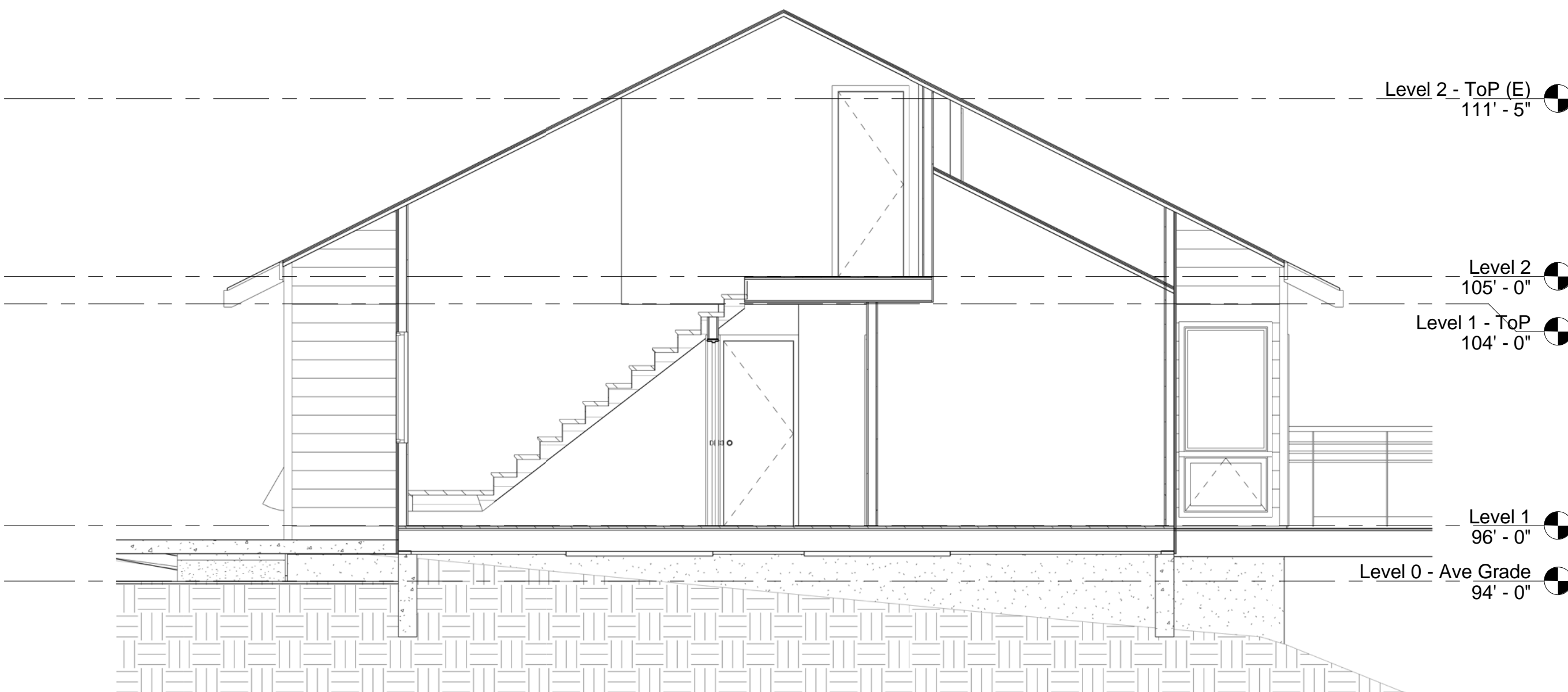
③ New Section
1/4" = 1'-0"



① Existing Section
1/4" = 1'-0"

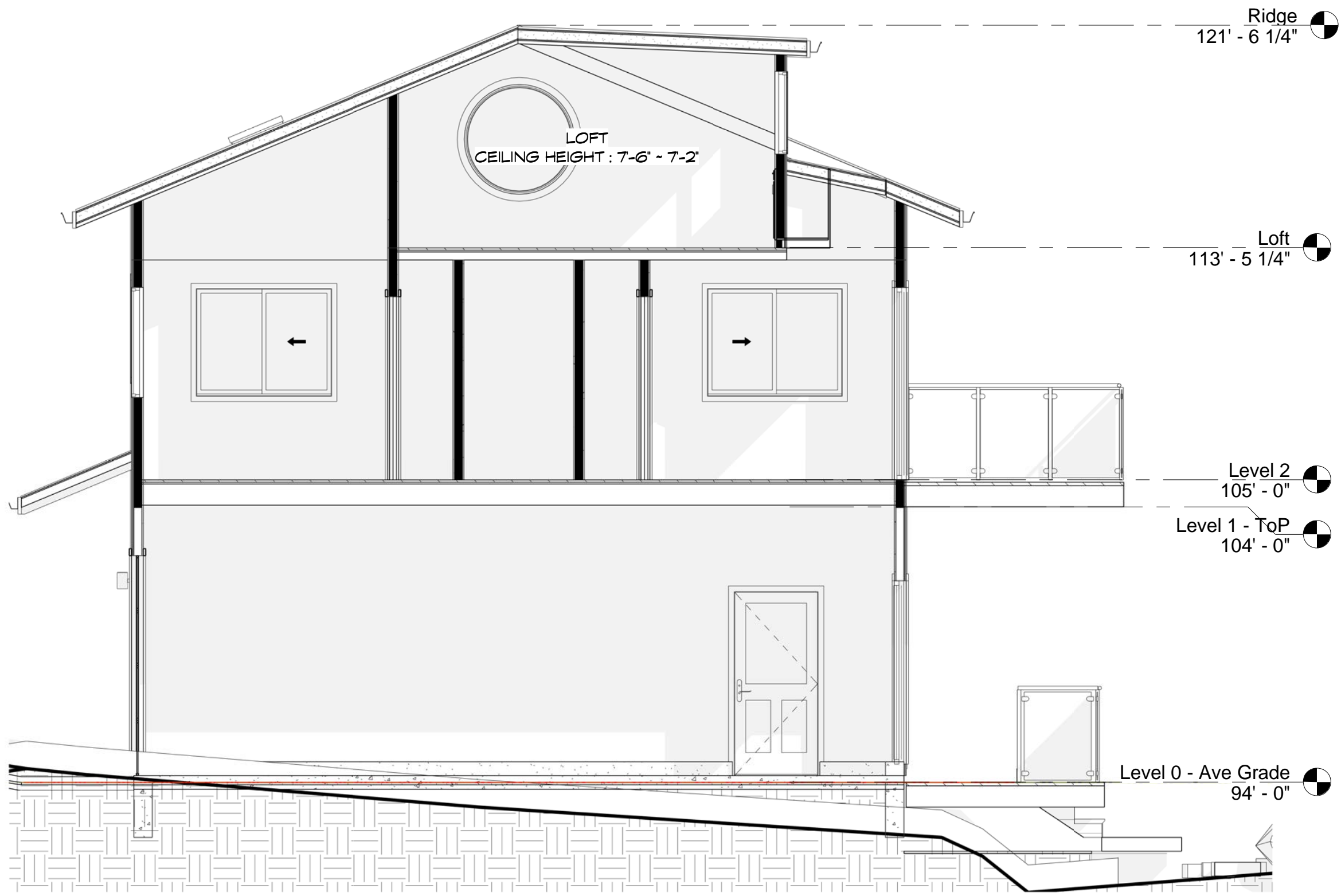


④ New Section
1/4" = 1'-0"



② Existing Section
1/4" = 1'-0"

REVISIONS



① New Section
1/4" = 1'-0"



EDWARD C. LOVE, ARCHITECT

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Architect
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Section

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ONLY

DATE: 1/25/23
SCALE: 1/4" = 1'-0"
DRAWN: ECL
JOB: HIRST-MCAFFEE

SHEET:
A3.02

OF SHEETS

S:\Client Projects 2022\Hirst-McAfee\Revit\Hirst-McAfee-V2.rvt

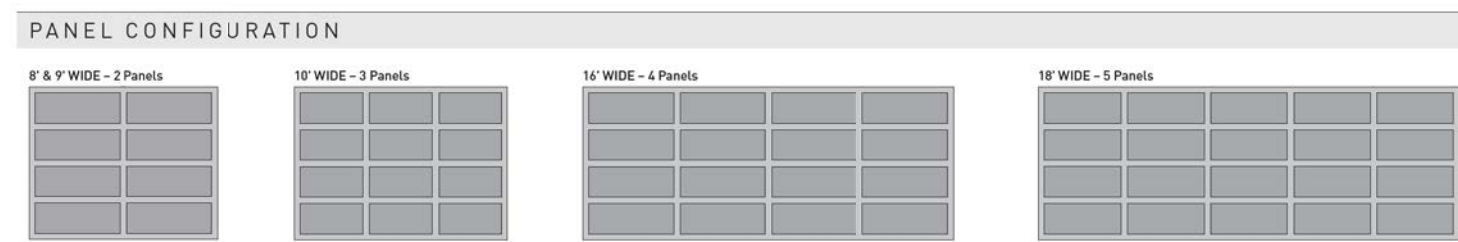
Amarr® Vista V11000

Contemporary Aluminum Full View Garage Doors

ENTREMATI^C

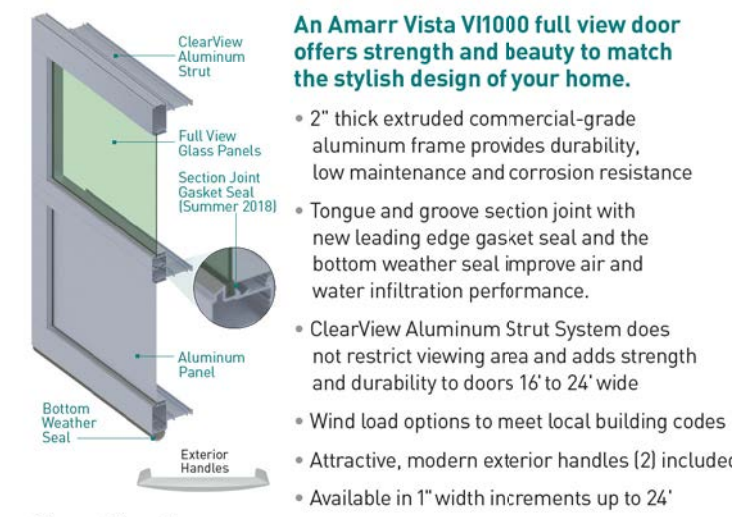


It's the perfect reflection of your style. The modern industrial look goes residential with the introduction of the Amarr Vista collection. From the outside, these sleek doors perfectly mirror the clean lines and glass expanses of your home's contemporary design. Inside, they transform your garage into a bright and inviting room.



Amarr® Vista

Construction



An Amarr Vista V11000 full view door offers strength and beauty to match the stylish design of your home.

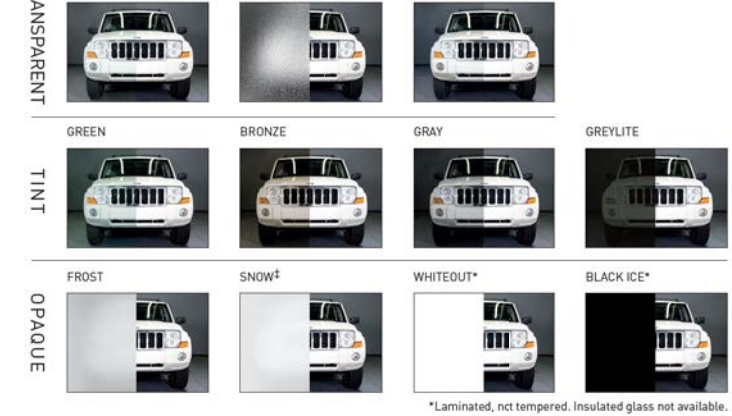
- 2" thick extruded commercial-grade aluminum frame provides durability, low maintenance and corrosion resistance
- Tongue and groove section joint with new leading edge gasket seal and the bottom weather seal improve air and water infiltration performance.
- ClearView Aluminum Strut System does not restrict viewing area and adds strength and durability to doors 16' to 24' wide
- Wind load options to meet local building codes
- Attractive, modern exterior handles (2) included
- Available in 1" width increments up to 24'

Specifications

FRAME CONSTRUCTION	2" thick aluminum
SECTION HEIGHTS	21" and 24"; 16" for odd height doors
WIND LOADS AVAILABLE	4
FINISH WARRANTY*	5 Years
WORKMANSHIP WARRANTY*	5 Years
HARDWARE WARRANTY*	5 Years

Glass

Glass is tempered and available as single pane or insulated.



*Laminated, not tempered. Insulated glass not available.

Glazing Options

	SINGLE PANE					DUAL PANE				SINGLE PANE Acrylic
	1/8"	1/8" Low-E	1/8"	1/4" Low-E	1/2"	1/2" Low-E	1/2"	1/2" Low-E	1/4"	
CLEAR	*	*	*	*	*	*	*	*	*	*
OBSCURE	*	*	*	*	*	*	*	*	*	*
GREEN TINT	*	*	*	*	*	*	*	*	*	*
BRONZE TINT	*	*	*	*	*	*	*	*	*	*
GRAY TINT	*	*	*	*	*	*	*	*	*	*
GREYLITE	*	*	*	*	*	*	*	*	*	*
FROST	*	*	*	*	*	*	*	*	*	*
SNOW	*	*	*	*	*	*	*	*	*	*
WHITEOUT	*	*	*	*	*	*	*	*	*	*
BLACK ICE	*	*	*	*	*	*	*	*	*	*

ENTREMATI^C 145 Carriage Court, Winston-Salem, NC 27105, 800.583.0008, www.amarr.com

Colors

IN STOCK

ANODIZE

- CLEAR ANI
- DARK BRONZE ANI
- BLACK ANI
- WHITE Powder Coat (WC)

SPECIAL ORDER

ANODIZE

- CHARBONE ANI
- COPPER ANI
- MEDIAN BRONZE ANI

PAINTS

PVDF (Kynar®) & Powder Coat

- WHITE (PVC)
- BONE WHITE
- GRAY
- SANDSTONE
- BURNING SUN
- SEREN TAN
- BLISS
- LOFT (Lamell Edge)
- DOVE GRAY
- SLATE GRAY
- CHESTNUT GRAY
- FRESH GREEN
- LOVE IT
- HONEYCOMB
- MILITARY BLUE
- INTENSIVE BLUE
- COLONIAL RED
- BOYSENBERRY
- SAGE BROWN
- SLIVER BRONZE
- SILVER
- SLIVER BLACK

Optional Panels

- ALUMINUM & INSULATED ALUMINUM
- PERFORATED ALUMINUM
- COVERED ALUMINUM

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REVISIONS



Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

Additions for
Hirst-McAfee
400 Sierra St
Moss Beach, CA

Details

FOR REVIEW ONLY

DATE: 1/25/23
SCALE:
DRAWN: ECL
JOB: HIRST-MCAFFEE
SHEET: A5.01
OF SHEETS

SEE STRUCTURAL PLANS FOR MATERIALS, DIMENSIONS & DETAILS

S:\Client Projects 2022\Hirst-McAfee\Revit\Hirst-McAfee-V3.rvt



EDWARD C. LOVE, ARCHITECT

Edward C. Love
Architect
720 MILL STREET
HALF MOON BAY, CA 94019
(650) 728-7615
edwardclovearch@gmail.com

Additions for
Hirst-McAfee
400 Sierra St
Moss Beach, CA

Material Sheet

FOR
REVIEW
ONLY

DATE: 1/25/23

SCALE: 3/8" = 1'-0"

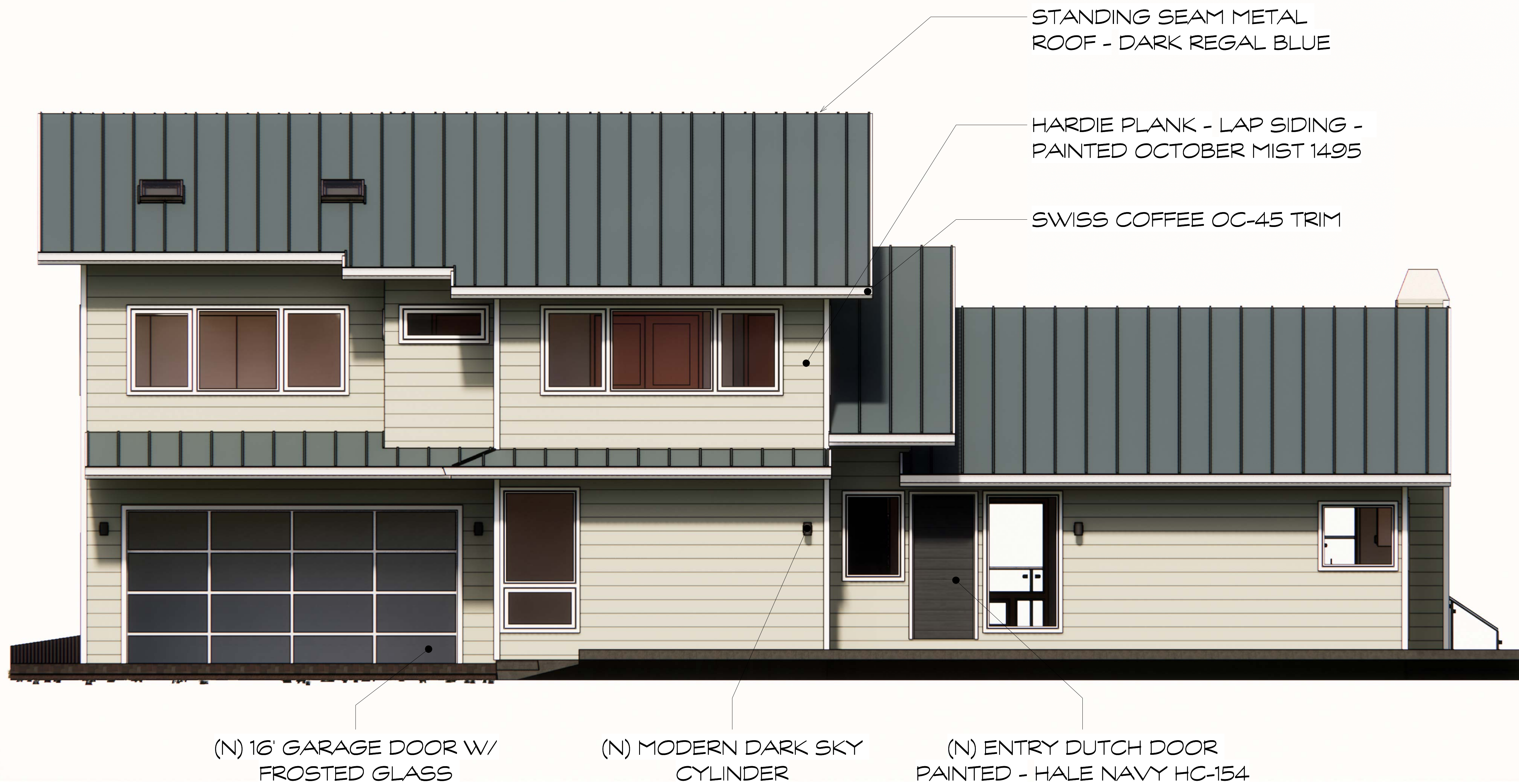
DRAWN: ECL

JOB: HIRST-MCAFFEE

SHEET:

A5.02

OF SHEETS



① Material Sheet
3/8" = 1'-0"



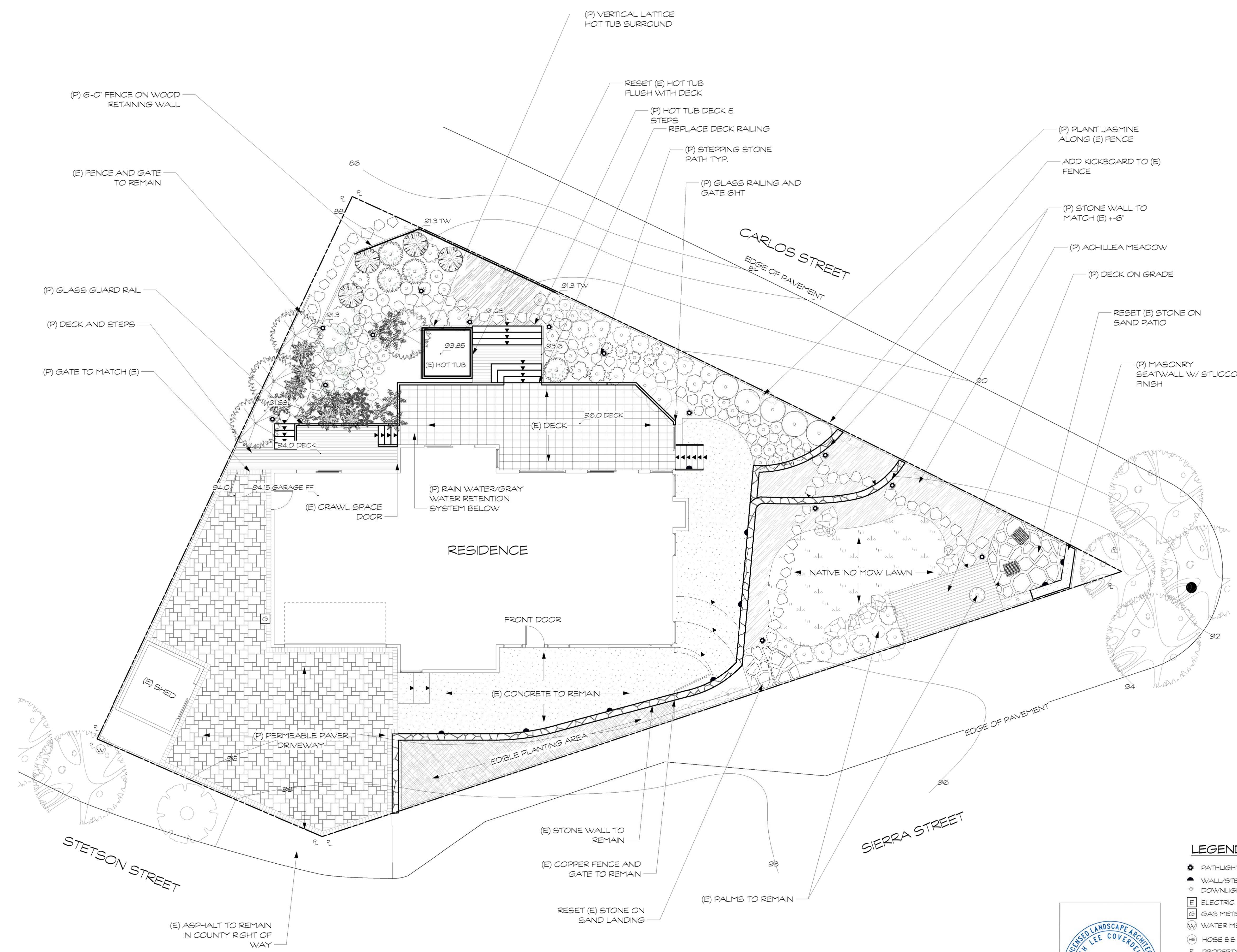
SWISS COFFEE
OC-45 - BJM



OCTOBER MIST
1495 - BJM



HALE NAVY
HC-154 - BJM



REVISIONS	
DATE	BY

HIRST-McAFEE RESIDENCE
 400 SIERRA STREET
 MOSS BEACH, CA 94038

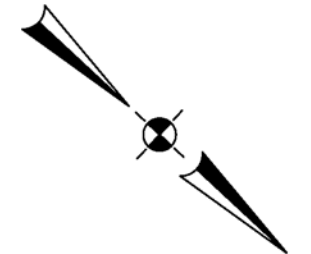
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LEGEND

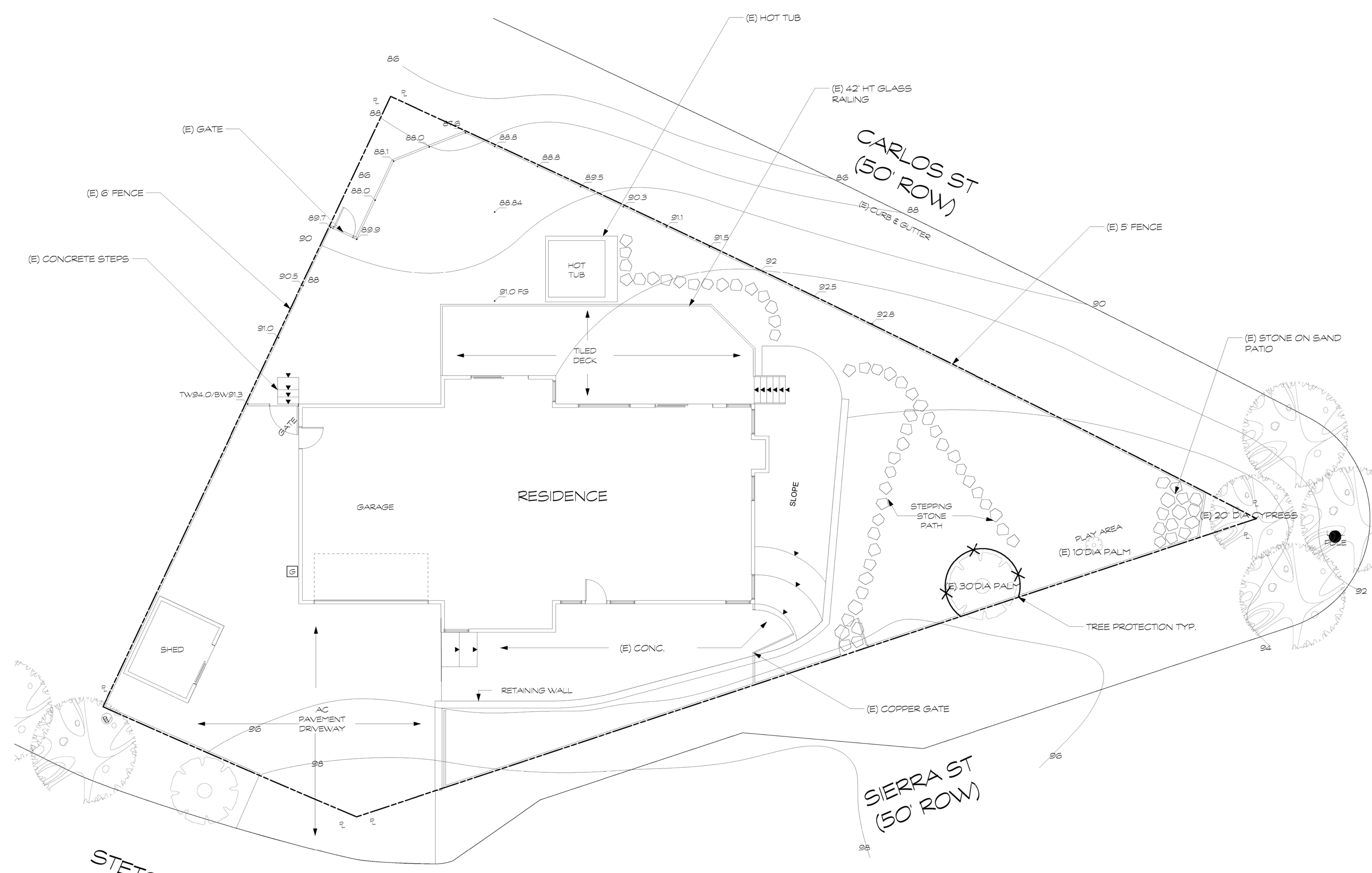
- PATHLIGHT LOW VOLTAGE LED
- ▲ WALL/STEP LOW VOLTAGE LED
- ⊕ DOWNLIGHT LOW VOLTAGE LED
- ⊠ ELECTRIC METER
- ⊞ GAS METER
- ⊚ WATER METER
- ⊙ HOSE BIB
- ⊘ PROPERTY LINE

NOTE

ALL NEW PLANTING TO BE IRRIGATED WITH AUTOMATIC CONTROLLER, SCHEDULED BETWEEN 8 P.M. AND 10 A.M.
 ALL PLANTED AREAS TO BE MULCHED WITH A MINIMUM TWO-INCH LAYER ON ALL EXPOSED PLANTING AREAS WITH FINE SHREDDED REDWOOD BARK MULCH.



CHECKED	K.C.
DATE	4/4/2023
SCALE	1/8" = 1'
DRAWN	K.C.
TITLE:	CONCEPT PLAN
DWG. NO.	L-1
SHEET	1 OF 7
JOB	HIRST-McAFEE

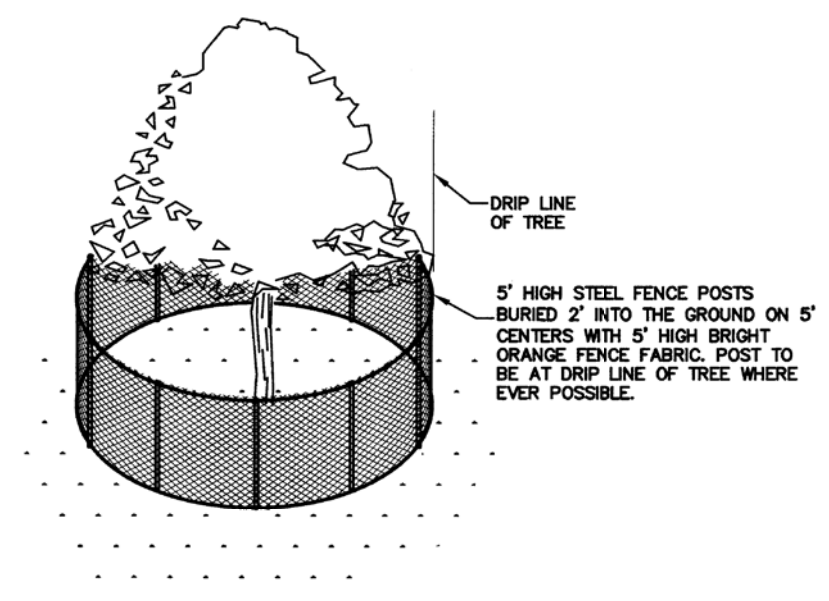



 CUSTOM LANDSCAPE ENVIRONMENTS
 LANDSCAPE CONTRACTOR'S LICENSE #C27-426094
 GENERAL CONTRACTOR'S LICENSE #B-430074
 LANDSCAPE ARCHITECT'S LICENSE #LA-44605
 409 PUEBLOA WAY, HALF MOON BAY, CA 94019
 (650) 726-5990 FAX (650) 726-0353

REVISIONS	
DATE	BY

HIRST-McAFEE RESIDENCE
 400 SIERRA STREET
 MOSS BEACH, CA 94038

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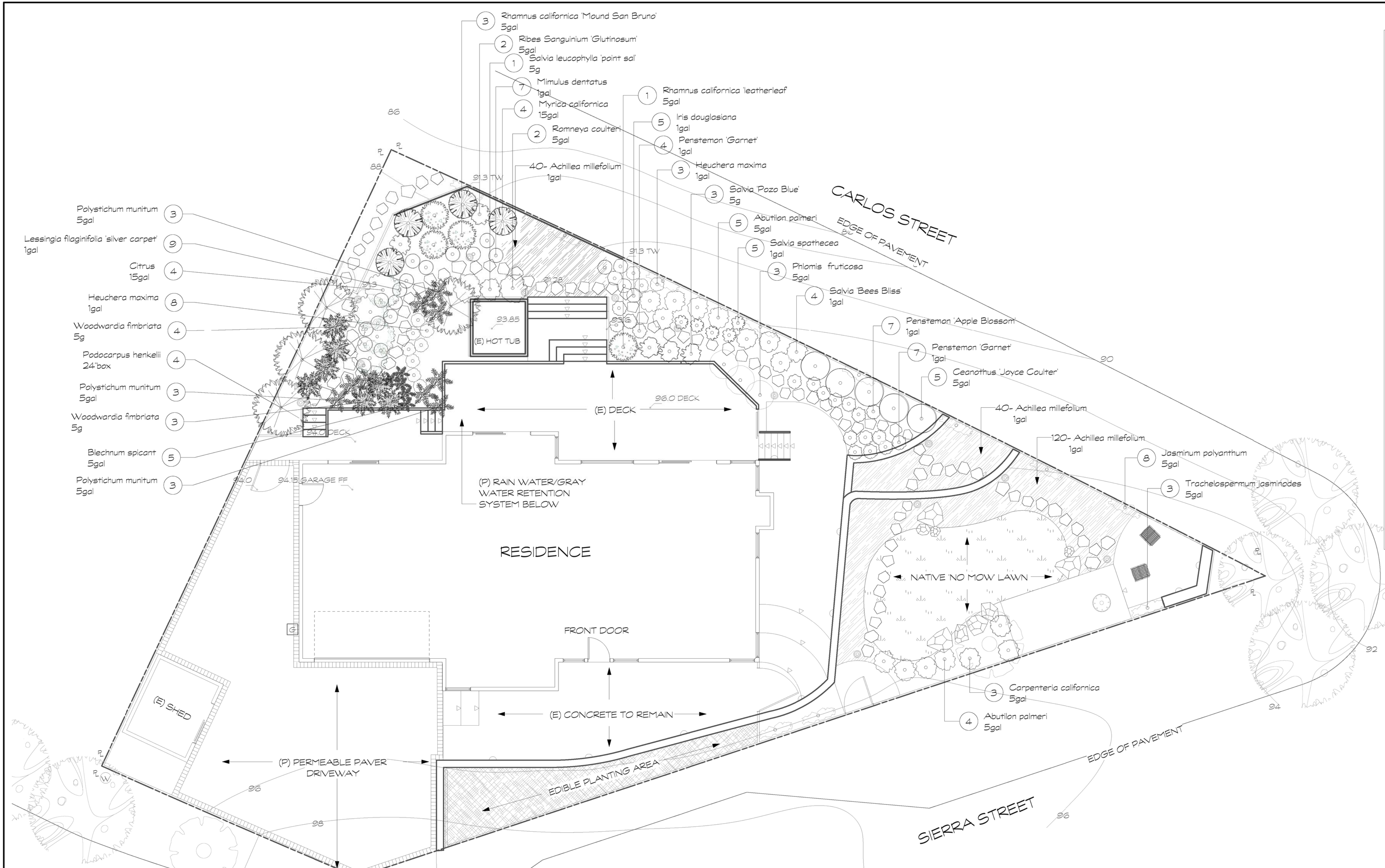

EXISTING TREE PROTECTION DETAIL
 NTS

LEGEND

- (E) EXISTING
- (P) PROPOSED
- G GAS METER
- W WATER METER
- # SPOT ELEVATION
- ℙ PROPERTY LINE



CHECKED K.C.
 DATE 4/4/2023
 SCALE 1/8" = 1'
 DRAWN K.C.
 TITLE:
 EXISTING CONDITIONS
 DWG. NO.
 L-2
 SHEET 2 OF 7
 JOB HIRST-McAFEE



WATER EFFICIENT LANDSCAPE ORDINANCE PROJECT INFORMATION

PROJECT: 400 SIERRA STREET, MOSS BEACH, CA 94038

PROJECT TYPE: R-1/S-17/DR/CD

PROJECT APPLICANT: BLUE SKY DESIGNS INC.

PROPERTY OWNER:
DEBORAH HIRST & CHRIS McAfee
400 SIERRA ST.,
MOSSBEACH, CA 94038

CONTACT INFORMATION:
BLUE SKY DESIGNS INC. : 6507265990

LANDSCAPE ARCHITECT:
KEN COVERDELL
LICENSE #LA4205
BLUE SKY DESIGNS INC.
650-726-5990

PROJECT ADDRESS:
400 SIERRA ST.,
MOSSBEACH, CA 94038

TOTAL LANDSCAPE AREA: 2,450 SF
NON-TURF IRRIGATED AREA: 1,827 SF
TURF AREA: 376 SF
SLA AREA: 247 SF

WATER SUPPLY TYPE: MONTARA WATER AND SANITARY DISTRICT

DOCUMENTATION PACKAGE:
LANDSCAPE DESIGN PLAN: BLUE SKY DESIGNS INC.
PLANTING PLAN: BLUE SKY DESIGNS INC.
MWEO CALCULATIONS: BLUE SKY DESIGNS INC.
IRRIGATION DESIGN PLAN: BLUE SKY DESIGNS INC.
OUTDOOR WATER EFFICIENCY CHECKLIST: BLUE SKY DESIGNS INC.

APPLICANT STATEMENT:
"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."

KEN COVERDELL 4/5/2023
APPLICANT SIGNATURE DATE

LANDSCAPE ARCHITECT
TITLE

LEGEND

- NATIVE NO MOW SOD
- ACHILLEA MEADOW 1 GAL PLANTINGS 2 O.C.
- SLA- EDIBLE PLANTS/GARDEN AREA

NOTES

A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.

Turf shall not exceed 25% of the landscape area in residential areas.

No turf permitted in non-residential areas.

Turf not permitted on slopes greater than 25%.

Turf is prohibited in parkways less than 10 feet wide.

Automatic weather-based or soil-moisture based irrigation controllers shall be installed on the irrigation system.

Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range.

Manual shut-off valves shall be installed as close as possible to the point of connector of the water supply.

Areas less than 10-feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.

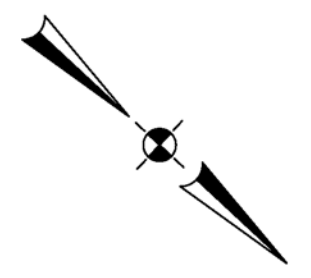
For non-residential projects with landscape areas of 1,000 sq. ft. or more, private sub-meter(s) to measure landscape water use shall be installed.

At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance.

Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 sq. ft. of permeable area shall be incorporated to a depth of six inches into the soil.

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN"

PLANT LIST						
Qty	Size	Name	Common Name	WUCOLS PLANT FACTOR	Hardiness Zone	Avg. Spread
TREES						
4	15gal	Citrus spp.	Orange, Lemon, Lime, etc.	0.5	Zones 8, 9, 12-24	15'
SHRUBS / PERENNIALS / GROUND COVER						
9	5gal	Abutilon palmeri	Indian mallow	0.2	Zones 8, 9, 12-24	
200	1gal	Achillea millefolium (CA native cultivars)	yarrow	0.2	Zones 1-24	
3	5gal	Carpenteria californica	bush anemone	0.5	Zones 8-9, 14-24	
5	5gal	Ceanothus 'Joyce Coulter'	Joyce Coulter ceanothus	0.5	Zones 8-9, 14-24	
11	1gal	Heuchera hybrids and cvs. (CA natives and non-natives)	coral bells cultivars	0.2	Zones 2-11, 14-24	
5	1gal	Iris douglasiana	Douglas iris	0.2	Zones 4-9, 14-24	
8	5gal	Jasminum polyanthum	pink jasmine	0.5	Zones 8-9, 14-24	
9	1gal	Lessingia flaginifolia 'Silver Carpet' (Correttroyne)	California beach aster	0.2	Zones 7-9, 14-24	
7	1gal	Mimulus aurantiacus (Diplacus arachnoideus)	sticky monkey flower	0.1	Zones 5, 8, 7-9, 14-24	
4	15gal	Myrica californica (See Morela californica)	Wax Myrtle	0.5	Zones 4-9, 14-24	
18	1gal	Penstemon SW native spp. and cvs.	penstemon (SW natives)	0.2	Zones 7-24	
3	5gal	Phlomis fruticosa	Jerusalem sage	0.2	Zones 8-24	
4	24" box	Podocarpus henkellii (See Afrocarpus henkellii)	Podocarpus	0.2	Zones 8, 9, 14-24	
4	5gal	Rhamnus californica (See Frangula californica)	Leather Leaf Coffee Berry	0.2	Zones 4-9, 14-24	
2	5gal	Ribes sanguinum varieties & cultivars	red flowering currant	0.2	Zones 7-9, 14-24	
2	5gal	Romneya coulteri	Matilija poppy	0.1	Zones 4-12, 14-24	
4	1gal	Salvia 'Bees Bliss'	Bees Bliss sage	0.2	Zones 8, 9, 14-24	
4	5gal	Salvia leucophylla and cvs.	purple sage	0.2	Zones 8, 9, 14-24	
5	1gal	Salvia spathacea (shade) and cvs	hummingbird/pitcher sage	0.2	Zones 7-9, 14-24	
3	5gal	Trachelospermum jasminoides	star jasmine	0.5	Zones 8-24	
FERNS						
5	5gal	Blechnum spicant (shade in the low desert)	deer fern	0.5	Zones 2-7, 14-19, 24	
8	5gal	Polystichum munitum	western sword fern	0.2	Zones 2-9, 14-24	
7	5gal	Woodwardia fimbriata	giant chain fern	0.2	Zones 2-9, 14-24	
SOD						
37655	SOD	Carpetaria californica and cvs.	California fescue	0.2	Zones 4-9, 14-24	



Blue Sky
DESIGNS INC.

CUSTOM LANDSCAPE ENVIRONMENTS
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GENERAL CONTRACTOR'S LICENSE #B-430074
LANDSCAPE ARCHITECT'S LICENSE #LA-4205
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(650) 726-5990 FAX: (650) 726-5353

REVISIONS

DATE	BY

HIRST-McAfee RESIDENCE
400 SIERRA STREET
MOSS BEACH, CA 94038

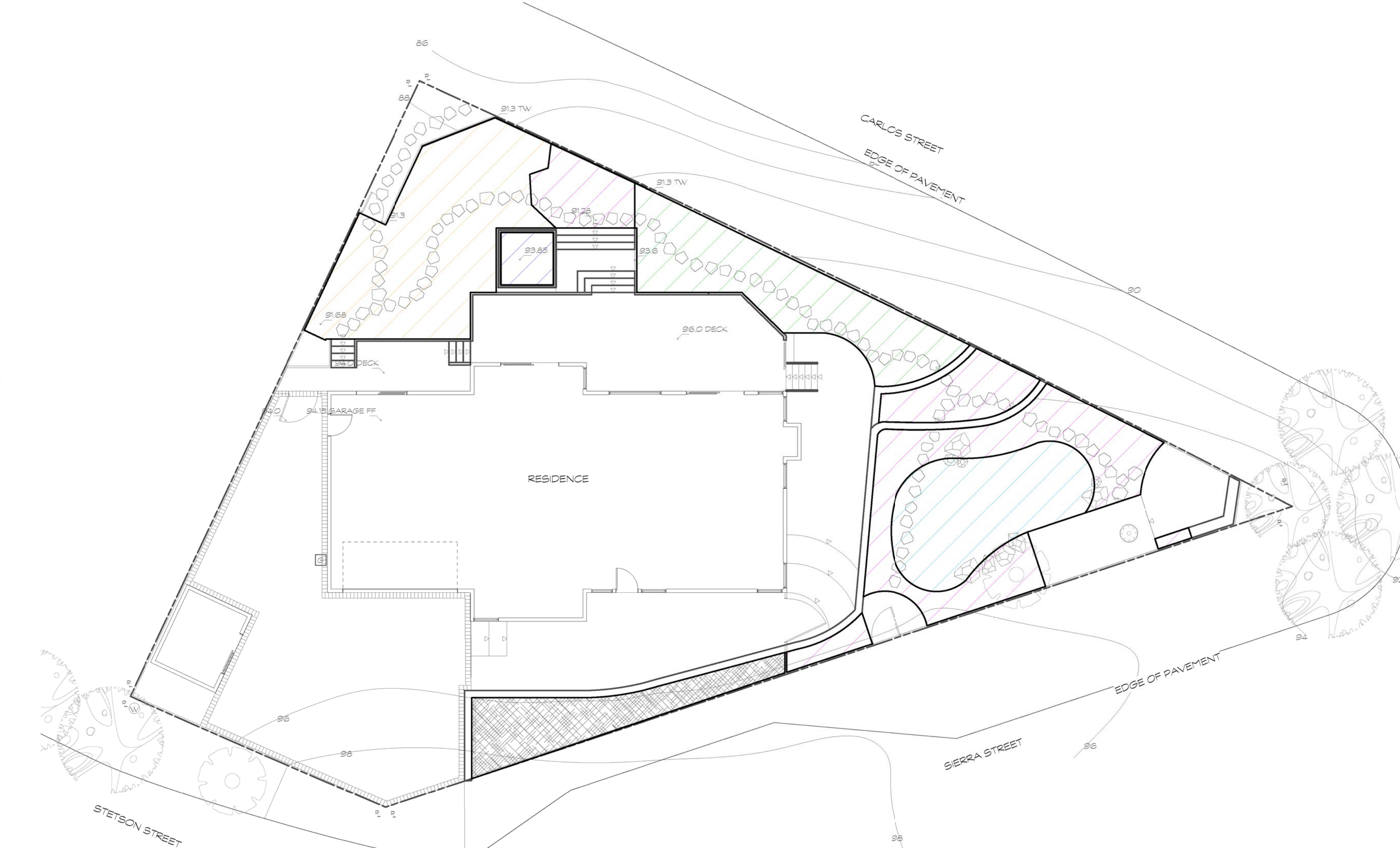
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CHECKED K.C.
DATE 4/4/2023
SCALE 1/8" = 1'
DRAWN K.C.
TITLE:
PLANTING PLAN
DWG. NO.
L-3
SHEET 3 OF 7
JOB HIRST-McAfee

WUCOLS IV 2014: Region I - North-Central Coastal						
Plant Classification	Botanical Name	Common Name	Category	WUCOLS		
TREES:						
		Citrus spp.	M	0.5		
SHRUBS / PERENNIALS / GROUND COVER:						
		Indian mallow	L	0.2		
Gd P	N	Abutilon palmeri	L	0.2		
	N	Achillea millefolium (CA native cultivars)	L	0.2		
	N	Carpenteria californica	M	0.5		
	N	Ceanothus 'Joyce Coulter'	M	0.5		
Gd	N	Heuchera hybrids and cvs. (CA natives and non-natives)	L	0.2		
	N	Heuchera	L	0.2		
	N	Heuchera hybrids and cvs. (CA natives and non-natives)	L	0.2		
	N	Inula douglasiana	L	0.2		
	N	Jasminum polyanthum	M	0.5		
Gc	N	Lesqueria fragrans 'Silver Carpet' (Corethrogyne)	L	0.2		
	N	Mimulus aurantiacus (Diplacus arachnoideus)	L	0.2		
	N	Myrica californica (See Morella californica)	M	0.5		
	N	Penstemon SW native spp. and cvs.	L	0.2		
	N	Penstemon	L	0.2		
	N	Phormium fruticosum	L	0.2		
	N	Podocarpus henkeli (See Afrocarpus henkeli)	L	0.2		
	N	Rhamnus californica (See Frangula californica)	L	0.2		
	N	Ribes sanguineum varieties & cultivars	L	0.2		
	N	Romneya coulteri	L	0.2		
Gc	N	Salvia 'Bee's Bliss'	VL	0.1		
	N	Salvia leucophylla and cvs.	L	0.2		
	N	Salvia spathacea (shade) and cvs.	L	0.2		
Gd P	N	Salvia	L	0.2		
Gc	N	Trachelospermum jasminoides	M	0.5		
FERNS:						
	N	Blechnum spicant (shade in the low desert)	M	0.5		
	N	Polystichum munium	L	0.2		
	N	Woodwardia fimbriata	L	0.2		
				TOTAL PLANT FACTOR	7	
				TOTAL PLANT SPP.	24	
				AVERAGE WATER USE FACTOR (3) PRESCRIPTIVE COMPLIANCE		
				0.28		

PLANT FACTOR WORKSHEET					
WUCOLS Region: North-Central Coast					
AVERAGE PLANT FACTOR FOR 100% OF THE PLANTED AREA					
WUCOLS Class	No. of Plants	WUCOLS Class	No. of Plants x Factor	Average Factor	No. of Plants
High	0	0.8	0		0
Medium	81	0.5	40.5		
Low	671	0.2	134.2		
Very Low	4	0.1	0.4		
Total Plants	756		175.1	0.23	
AVERAGE PLANT FACTOR FOR EACH HYDROZONE					
Hydrozone	WUCOLS Class	No. of Plants	Average Factor	No. of Plants x Factor	Hydrozone Average Factor
Hydrozone 1: Valve 1	High	0	0.8	0	0.21
	Medium	10	0.5	5	
	Low	204	0.2	40.8	
	Very Low	0	0.1	0	
	Total Plants	214		46.6	
Hydrozone 2: Valve 2 SOD/LAWN SF	High	0	0.8	0	0.20
	Medium	0	0.5	0	
	Low	376	0.2	75.2	
	Very Low	0	0.1	0	
	Total Plants	376		75.2	
Hydrozone 3: Valve 3	High	0	0.8	0	0.23
	Medium	5	0.5	2.5	
	Low	47	0.2	9.4	
	Very Low	0	0.1	0	
	Total Plants	52		11.9	
Hydrozone 4: Valve 4	High	0	0.8	0	0.26
	Medium	13	0.5	6.5	
	Low	44	0.2	8.8	
	Very Low	4	0.1	0.4	
	Total Plants	61		15.7	
Hydrozone 5: Valve 5 (COVERED SPA)	High	0	0.8	0	0.50
	Medium	53	0.5	26.5	
	Low	0	0.2	0	
	Very Low	0	0.1	0	
	Total Plants	53		26.5	

WATER USE BY HYDROZONE														
Zone	Design Operating Pressure	Plant Size	No. of Plants	Emitters Per Plant	Emitters Per Zone	GPH Per Emitter	Flow Rate (Application Rate)	Flow Rate (Application Rate)	Landscape Area (Ft ²)	Precipitation Rate (in/hr)	Per Zone	Per Zone		
Hydrozone 1 (Valve 1)	30 PSI	4 in.	0	1	0	1	0	0						
			200	2	400	1	400							
			1 Gal.	2	2	2	58							
			15 Gal.	4	4	2	64							
		24" Box	0	0	0	0	0	0						
		Zone Total												
		456												
		7.6												
		730												
		1.00												
Hydrozone 3 (Valve 3)	30 PSI	4 in.	0	1	0	1	0	0						
			2	2	40	1	40							
			1 Gal.	2	2	2	64							
			15 Gal.	4	4	2	64							
		24" Box	0	0	0	0	0	0						
		Zone Total												
		136												
		2.3												
		438												
		0.50												
Hydrozone 4 (Valve 4)	30 PSI	4 in.	0	1	0	1	0	0						
			24	2	48	1	48							
			1 Gal.	2	2	2	120							
			15 Gal.	4	4	2	64							
		24" Box	4	8	2	64								
		Zone Total												
		296												
		4.9												
		603												
		0.79												
LAWN														
Hydrozone 2 (Valve 2)	40 PSI	MP/BC ROTACR NOZZLES	SPRAY		NOZZLES PER VALVE		GPM PER NOZZLE	Flow Rate (Application Rate)	Flow Rate (Application Rate)	Landscape Area (Ft ²)	Precipitation Rate (in/hr)	Per Zone		
			180	9	0.93	5022							8.37	
			270	0	1.4	0							0	
			360	0	1.87	0							0	
		Zone Total				5022	8.37		376	2.14				
									Landscape Total	1094.2	18.2	247	4.43	



WATER EFFICIENT LANDSCAPE WORKSHEET									
Reference Annual Evapotranspiration Rate (Eto)									32.9
Source for Eto: CIMIS									
WATER USE CALCULATIONS									
Hydrozone	Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Annual ETWU	
Regular Landscape Areas									
1	MIXED PLANTING	0.21	DRIP	0.81	0.26	730	189.26	3860.51	
2	LOW WATER USE	0.2	SPRAY	0.75	0.27	376	100.27	2048.24	
3	MIXED PLANTING	0.23	DRIP	0.81	0.28	438	124.37	0.00	
4	MIXED PLANTING	0.26	DRIP	0.81	0.32	603	193.56	0.00	
5	COVERED SPA	0.5	SPRAY	0.75	0.67	53	35.33	720.73	
Special Landscape Areas (SLA)							(A)	(B)	
N/A	EDIBLE GARDEN AREA				N/A	250			
Total							(C)	(D)	
							250	0.00	6626.48
									ETWU TOTAL 6626.48
									Maximum Allowed Water Allowance (MAWA) 24681.58
THE IRRIGATION EFFICIENCY IS GREATER THAN 70% THE MAWA IS GREATER THAN THE ETWU									
ETAF CALCULATIONS									
Regular Landscape Areas									
					B	642.8			
					A	2200			
Total ETAF x Area						B/A	0.29	Average ETAF	
Total Area							Average ETAF must be 0.55 or below for residential areas		
							Average ETAF must be 0.45 or below for non-residential areas		
							THE ETAF IS BELOW THE 0.45/0.55 MAXIMUM		
All Landscape Areas									
					(B+C)	642.79			
					(A+C)	2450			
Total Area						(B+C)/(A+C)	0.26	Average ETAF	
							Average ETAF must be 0.55 or below for residential areas		
							Average ETAF must be 0.45 or below for non-residential areas		
							THE ETAF IS BELOW THE 0.45/0.55 MAXIMUM		
MAWA CALCULATIONS									
MAWA (Maximum Annual Water Allowance, in gallons) = (Annual Eto x 0.62 x ETAF x LA) + ((-ETAF) x SLA)									
0.62 is the conversion factor that converts acre-inches per acre to gallons per square foot									
LA is the total landscape area in square feet									
SLA is the total special landscape area in square feet									
ETAF is 0.55 for residential areas and 0.45 for non-residential areas									
					ETAF x LA	24681.58			
					(-ETAF) x SLA				
						MAWA	24681.58		

LEGEND

- SLA- EDIBLE PLANTS/GARDEN AREA 250SF
- HYDROZONE 1: MIXED WATER USE (730SF) PLANT FACTOR .21
- HYDROZONE 2: LOW WATER USE (376SF) PLANT FACTOR .20
- HYDROZONE 3: MIXED WATER USE (438SF) PLANT FACTOR .23
- HYDROZONE 4: MIXED WATER USE (603SF) PLANT FACTOR .26
- HYDROZONE 5: MEDIUM WATER USE (COVERED SPA 53SF) PLANT FACTOR .5

NOTES

- A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
- Turf shall not exceed 25% of the landscape area in residential areas.
- No turf permitted in non-residential areas.
- Turf not permitted on slopes greater than 25%.
- Turf is prohibited in parkways less than 10 feet wide.
- Automatic weather-based or soil-moisture based irrigation controllers shall be installed on the irrigation system.
- Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range.
- Manual-shut-off valves shall be installed as close as possible to the point of connection of the water supply.
- Areas less than 10-feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
- For non-residential projects with landscape areas of 1,000 sq.ft. or more, private sub-meter(s) to measure landscape water use shall be installed.
- At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance.
- Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 sq. ft. of permeable area shall be incorporated to a depth of six inches into the soil.
- I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



HIRST-McAFEE RESIDENCE
400 SIERRA STREET
MOSS BEACH, CA 94038

REVISIONS	
DATE	BY

CHECKED **K.C.**
DATE **4/4/2023**
SCALE **N.T.S.**
DRAWN **K.C.**
TITLE:
MVELO CALCULATIONS

DWG. NO. **L-4**

SHEET **4 OF 7**

JOB **HIRST-McAFEE**



REVISIONS	
DATE	BY

HIRST-McAFEE RESIDENCE
400 SIERRA STREET
MOSS BEACH, CA 94038

THE DRAWINGS ON THIS SHEET OR COPIES OF THEM, HOWEVER EXECUTED AND THE DESIGN CONCEPTS CONVEYED BY THEM ARE AND SHALL REMAIN THE EXCLUSIVE PROPERTY OF THE DESIGNER WHETHER THE PROJECT FOR WHICH THEY WERE CREATED IS EXECUTED OR NOT. THEY MAY NOT BE USED IN WHOLE OR IN PART BY ANY PERSON OR BUSINESS ENTITY ON ANY OTHER PROJECT NOR EXTENSIONS OF THIS PROJECT WITHOUT APPROPRIATE COMPENSATION TO AND WRITTEN PERMISSION FROM THE DESIGNER. THE DESIGNER ASSUMES NO LIABILITY FOR IDEAS NOT EXECUTED BY, OR UNDER THE DIRECT SUPERVISION OF, BLUE SKY DESIGNS, INC.

CHECKED **K.C.**
DATE **4/4/2023**
SCALE **1/8" = 1'**
DRAWN **K.C.**
TITLE:
IRRIGATION PLAN

DWG. NO.
L-5

SHEET **5 OF 7**
JOB **HIRST-McAFEE**

LEGEND

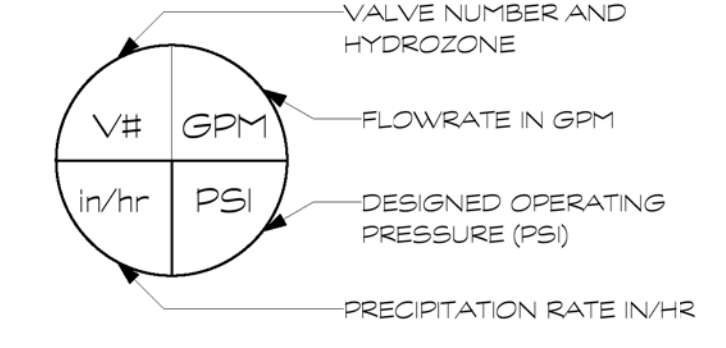
- POC** POINT OF CONNECTION FOR IRRIGATION
- W** 5/8" IN WATER METER TOP(S) STATIC PRESSURE
- M** MANUAL SHUT OFF VALVE
- BP** BACKFLOW PREVENTION DEVICE
- P** WATER PRESSURE REDUCING VALVE
- C** HUNTER I-CORE WEATHER BASED IRRIGATION CONTROLLER
- R** HUNTER RAIN CLICK WIRELESS RAIN SENSOR
- AV** AUTOMATIC CONTROL VALVE W/ PRESSURE/FILTER REGULATOR COMBO
- 4"** 4" PVC SLEEVE
- 1"** 1" SCH 40 IRRIGATION MAINLINE
- 3/4"** 3/4" SCH 40 IRRIGATION LATERAL LINES
- SPRINKLER MP ROTATOR 800 QUARTER HEAD**
- SPRINKLER MP ROTATOR 800 HALF HEAD**
- 3/4"** 3/4" BRASS HOSE BIB MOUNTED TO 4"x4" WOODEN POST AT 16" HT
- P** 1/2HP WELL PUMP
- PT** PRESSURE TANK FOR CISTERN SYSTEM

NOTES

A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
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Automatic weather-based or soil-moisture based irrigation controllers shall be installed on the irrigation system.
Pressure regulators shall be installed on the irrigation system to ensure dynamic pressure of the system is within the manufacturer's recommended pressure range.
Manual-shut-off valves shall be installed as close as possible to the point of connection of the water supply.
Areas less than 10-feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
For non-residential projects with landscape areas of 1,000 sq.ft. or more, private sub-meter(s) to measure landscape water use shall be installed.
At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule of landscape and irrigation maintenance.
Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 sq. ft. of permeable area shall be incorporated to a depth of six inches into the soil.

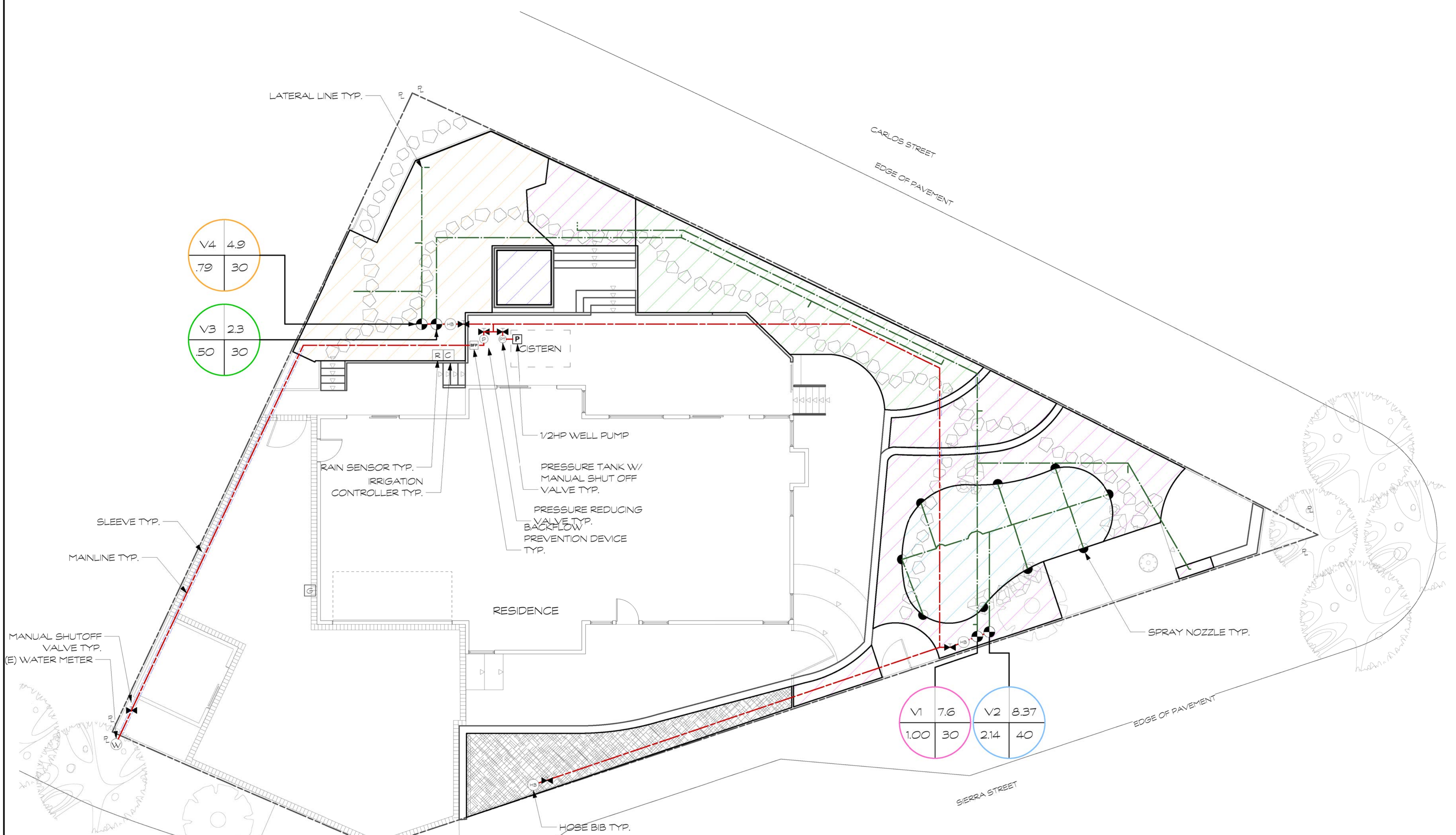
I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

VALVE LABEL

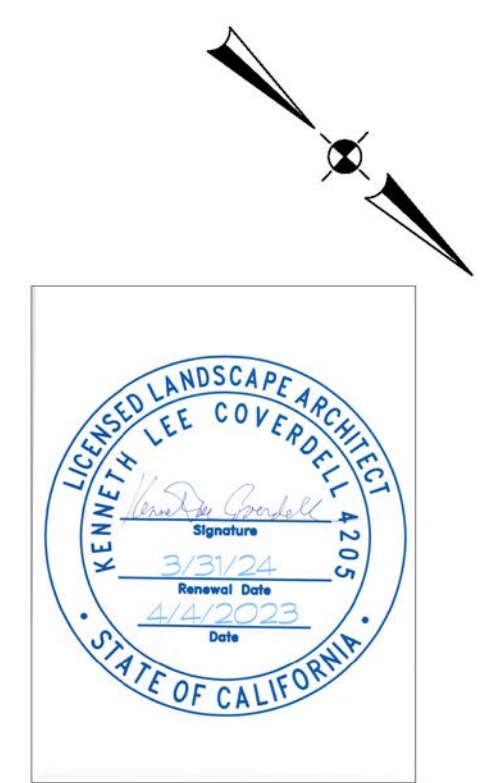


HYDROZONE LEGEND

- Hydrozone 1: Mixed Water Use (730SF)**
PLANT FACTOR: .21
- Hydrozone 2: Low Water Use (376SF)**
PLANT FACTOR: .20
- Hydrozone 3: Mixed Water Use (438SF)**
PLANT FACTOR: .23
- Hydrozone 4: Mixed Water Use (603SF)**
PLANT FACTOR: .26
- Hydrozone 5: Medium Water Use (Covered Spa 53SF)**
PLANT FACTOR: .5



IRRIGATION SYSTEM COMPONENTS								
ITEM	TYPE	SIZE	NOTES					
WATER METER	EXISTING							
MANUAL SHUT OFF VALVE	BRASS GATE VALVE	1" IN						
BACKFLOW PREVENTION DEVICE	FIBCO 825Y	1" IN						
WATER PRESSURE REDUCING VALVE	WILKINS 600XL LEAD FREE	1" IN						
CONTROLLER, WEATHER BASED	HUNTER PRO-IC	6" STATION						
RAIN SENSOR	HUNTER RAIN-CLICK WIRELESS WR-CLICK-R							
CONTROL VALVES	HUNTER ICV-1019	1" IN	WIRED					
PRESSURE-REGULATING FILTER	RAIN BRD RBY100	1" IN	REGULATED PRESSURE 40 PSI, FLOW 0.2 - 15.0 GPM					
MAINLINE	PVC SCH 40	1" IN	18" N MIN COVER					
LATERAL	PVC SCH 40	3/4" IN	12" N MIN COVER					
HOSE BIBS	BRASS	1" IN	POST MOUNTED 16" IN HT					
DRIP								
1/2" POLY TUBE RUN TO EACH PLANT WITH EMITTERS								
DRIFTLINE TO BE 3" FROM HARDSURFACE / HEADERBOARDS								
MAXIMUM COVER 4" BELOW FINISHED GRADE								
STAPLES AS REQUIRED 4" C-C MAX SPACING								
INSTALL END PLUG (FLUSH VALVE) AT END OF ALL POLY TUBE LINES								
AIR/VACUUM RELIEF VALVE 1EA / 300' LN. FEET OF DRIFTLINE								
WHERE APPLICABLE, PLACE EMITTERS ON UPHILL SIDE OF PLANTS								
ITEM	TYPE	SIZE	NOTES					
END PLUG W/CAP (FLUSH VALVE)	AGRIFIM CEPT00	1/2" IN						
AIR/VACUUM RELIEF VALVE	AGRIFIM AVRVS0	1/2" IN						
DRIFTLINE	POLYETHYLENE TUBING AT00	1/2" IN	BLACK OR BROWN					
EMITTERS	AGRIFIM PC PLUS PCP 10	1 GPM						
	AGRIFIM PC PLUS PCP 20	2 GPM						
PLANT SIZE	EMITTERS							
4" IN	1 @ 1 GPM							
1 GAL	2 @ 1 GPM							
5 GAL	2 @ 2 GPM							
15 GAL	4 @ 2 GPM							
24 IN BOX	8 @ 2 GPM							
			CIRCLE ROOT BALL					
			CIRCLE ROOT BALL					
LAWN AREA								
ITEM	TYPE	SIZE	PSI	RADIUS	GPM	PSI	RADIUS	GPM
POP-UP SPRAY HEAD	RAINBRD 1A08-SAM-PRS	6" IN POP-UP						
SPRAY NOZZLE	HUNTER MP-ROTATOR 800 SERIES	90'	30	8-15	0.17	40	10	0.23
		180'	30	8-15	0.33	40	10	0.42
		270'	30	8-15	0.35	40	10	0.43
		360'	30	8-15	0.66	40	10	0.76
NOTE	ALL COMPONENTS TO BE INSTALLED PER MANUFACTURERS DETAILS AND SPECIFICATIONS.							



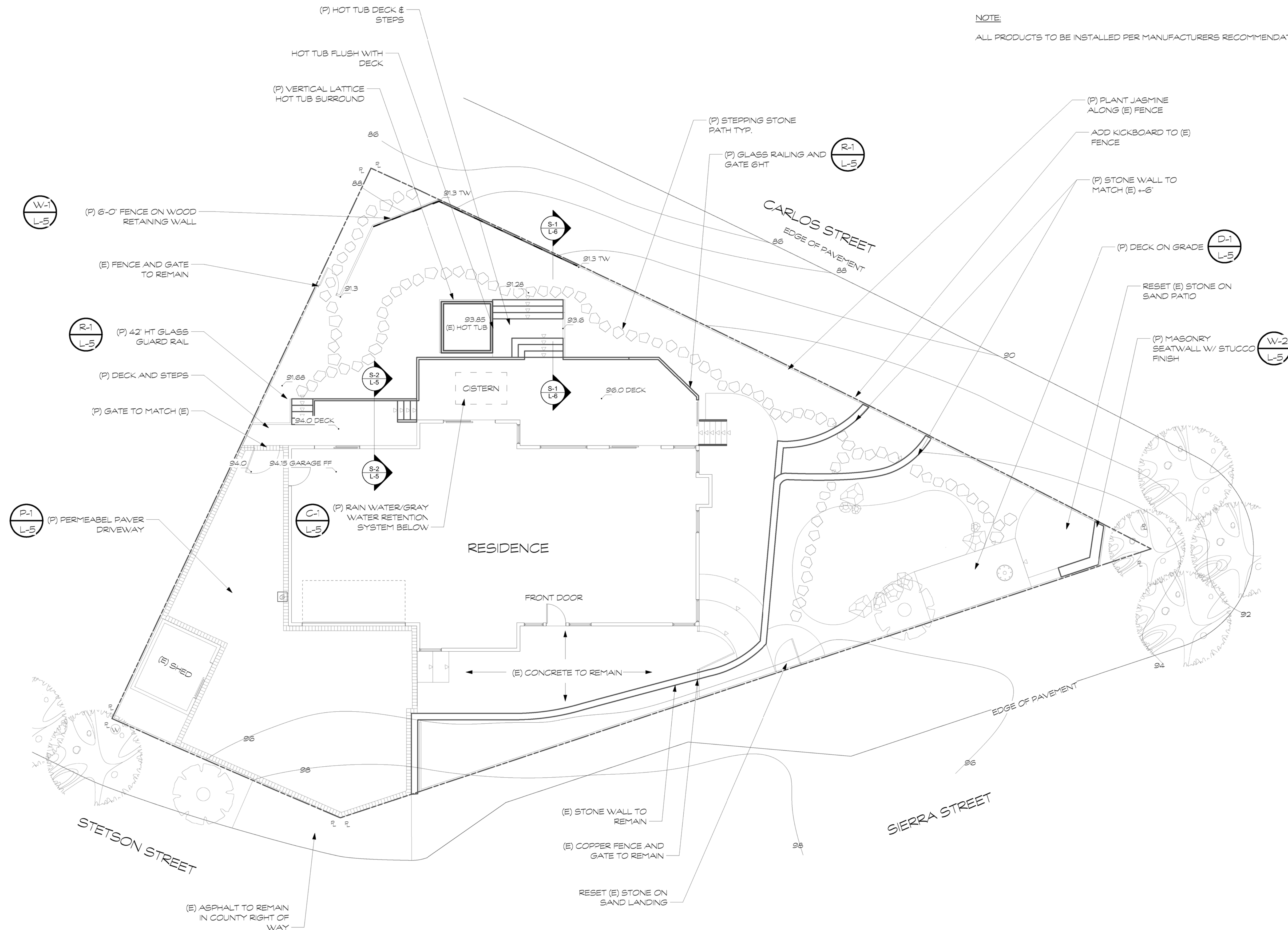
SCOPE OF WORK:
 -CONSTRUCTION OF NEW EXTERIOR COMPOSITE DECKING WITH GLASS HANDRAIL/GUARDRAIL SYSTEM
 -RELOCATION OF EXISTING HOT TUB AND 50A/220V ELECTRICAL SUPPLY
 -INSTALLATION OF 1500GAL CISTERN FOR GREYWATER/RECYCLED WATER IRRIGATION SYSTEM
 -INSTALLATION OF NEW 20A/120V CIRCUIT FOR GREYWATER/RECYCLED WATER IRRIGATION SYSTEM
 -CONSTRUCTION OF GARDEN RETAINING WALL WITH FENCING FOR NEW LANDSCAPE GRADING
 -CONSTRUCTION OF NEW PERMEABLE PAVER DRIVEWAY

APPLICABLE CODES:
 SAN MATEO ZONING & BUILDING ORDINANCES

2022 CALIFORNIA RESIDENTIAL CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ELECTRICAL CODE

NOTE:

ALL PRODUCTS TO BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS AND DETAILS.



REVISIONS	
DATE	BY

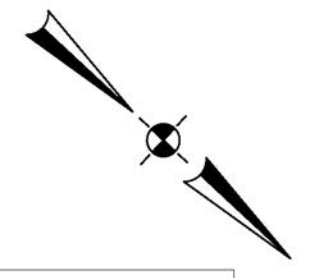
HIRST-McAfee RESIDENCE
 400 SIERRA STREET
 MOSS BEACH, CA 94038

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CHECKED K.C.
 DATE 4/4/2023
 SCALE 1/8" = 1'
 DRAWN K.C.
 TITLE:

LANDSCAPE SITEPLAN
 DWG. NO. L-6
 SHEET 6 OF 7
 JOB HIRST-McAfee

Blue Sky
 CUSTOM LANDSCAPE ENVIRONMENTS
 LANDSCAPE CONTRACTOR'S LICENSE #C27-424004
 GENERAL CONTRACTOR'S LICENSE #B-43004
 LANDSCAPE ARCHITECT'S LICENSE #L-44605
 409 PUEBLO WAY, HALF MOON BAY, CA 94019
 (650) 726-5990 FAX (650) 726-0333

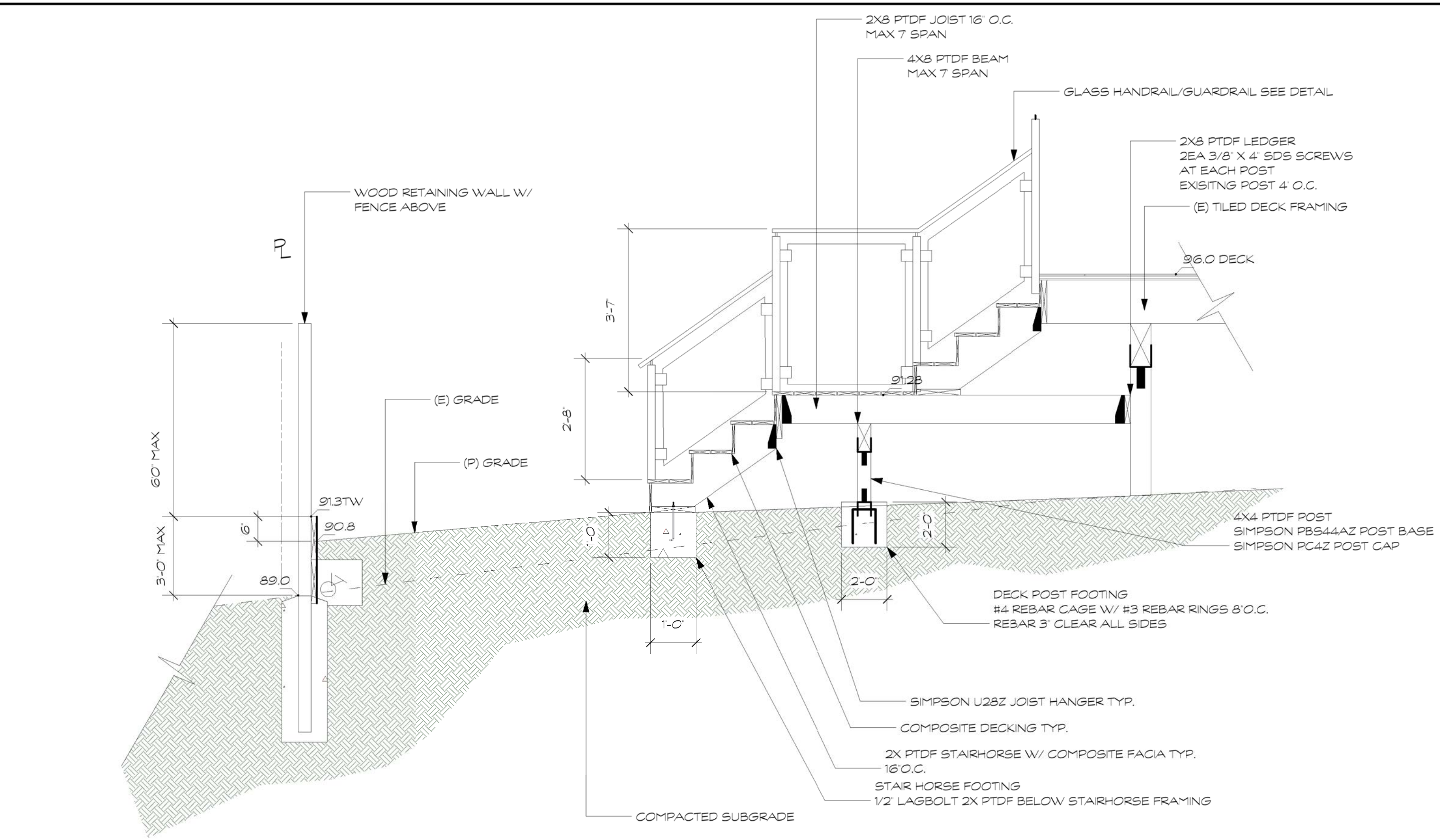


REVISIONS	
DATE	BY

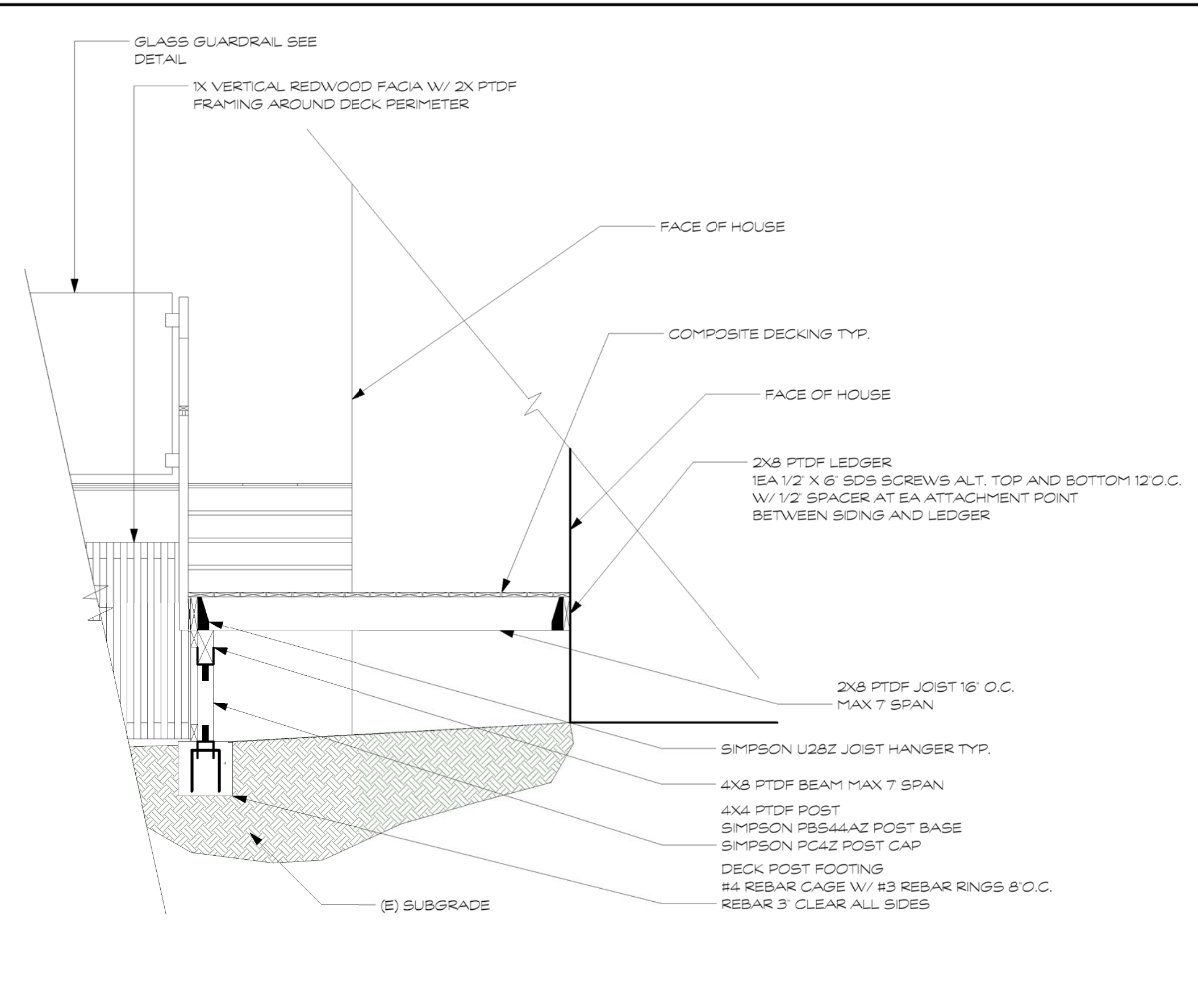
HIRST-McAFEE RESIDENCE
400 SIERRA STREET
MOSS BEACH, CA 94038

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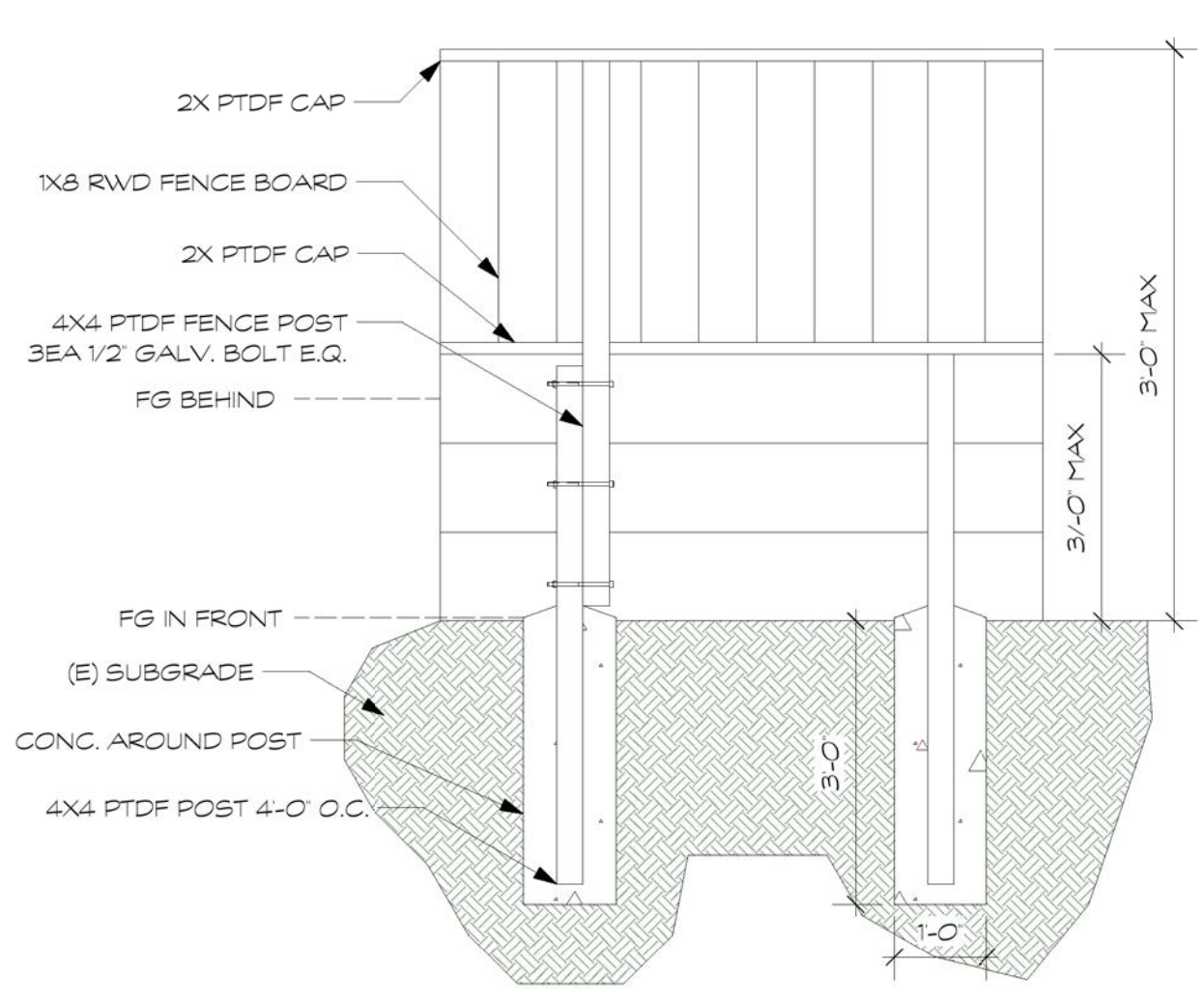
CHECKED K.C.
DATE 4/4/2023
SCALE E.E. DRAWING
DRAWN K.C.
TITLE:
CONSTRUCTION DETAILS
DWG. NO. L-7
SHEET 7 OF 7
JOB HIRST-McAFEE



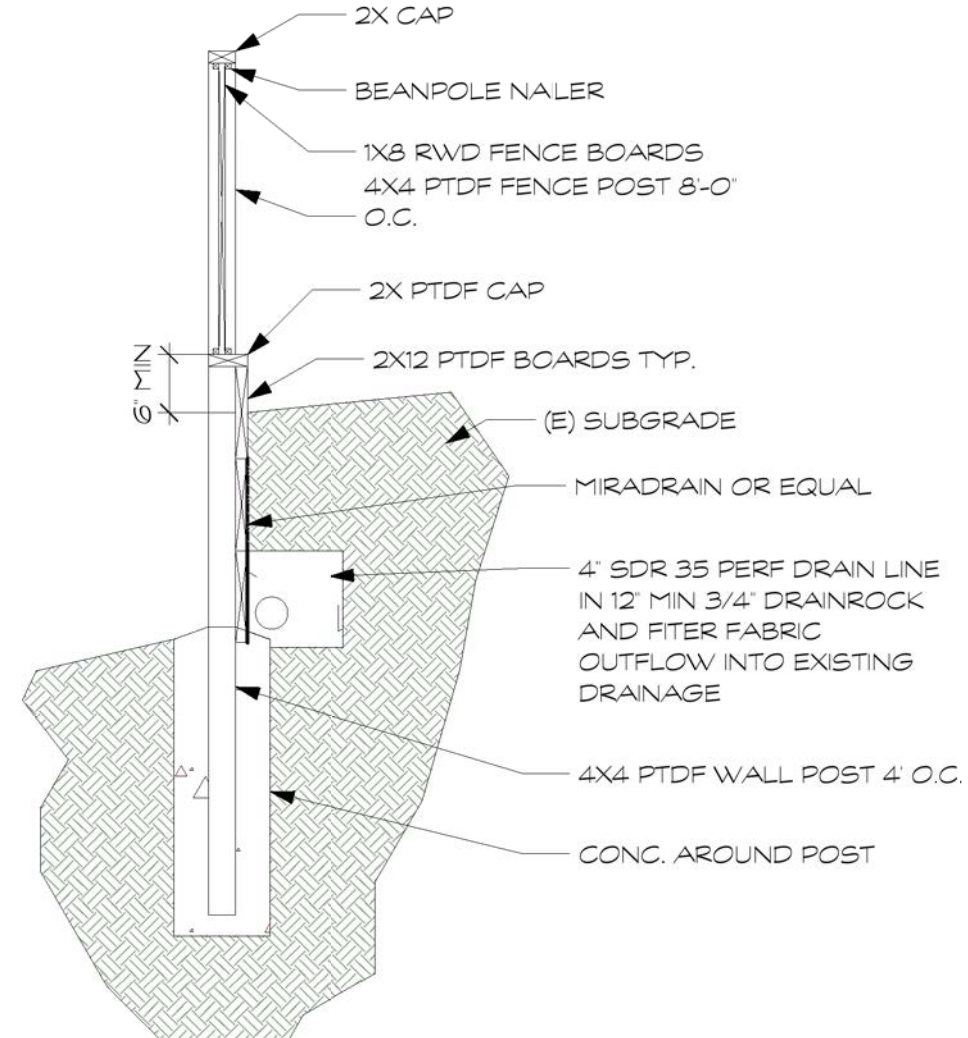
S-1 SECTION S-1: PROPOSED DECK/STEPS OFF EXISTING TILE DECK
Scale: 1/2" = 1'



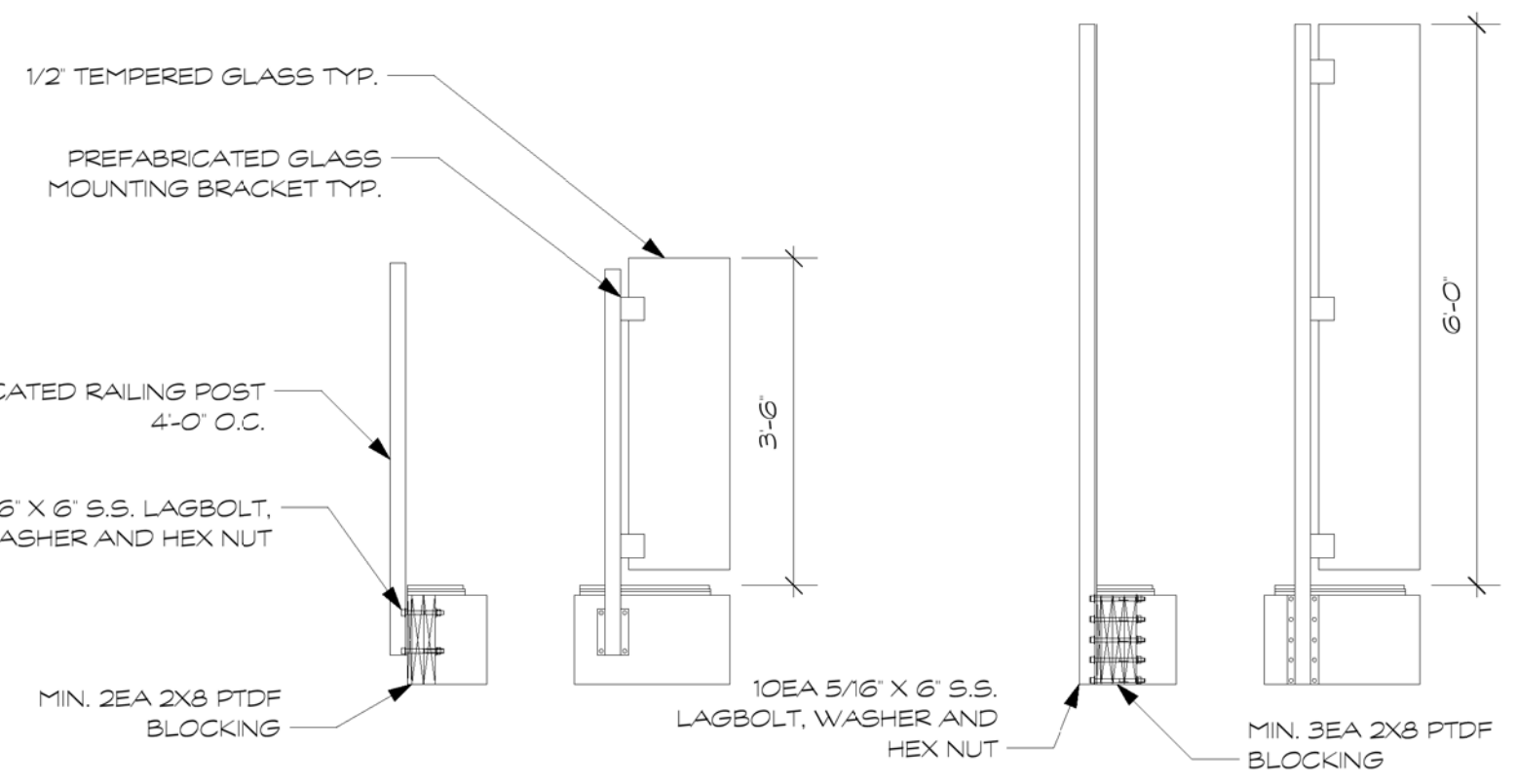
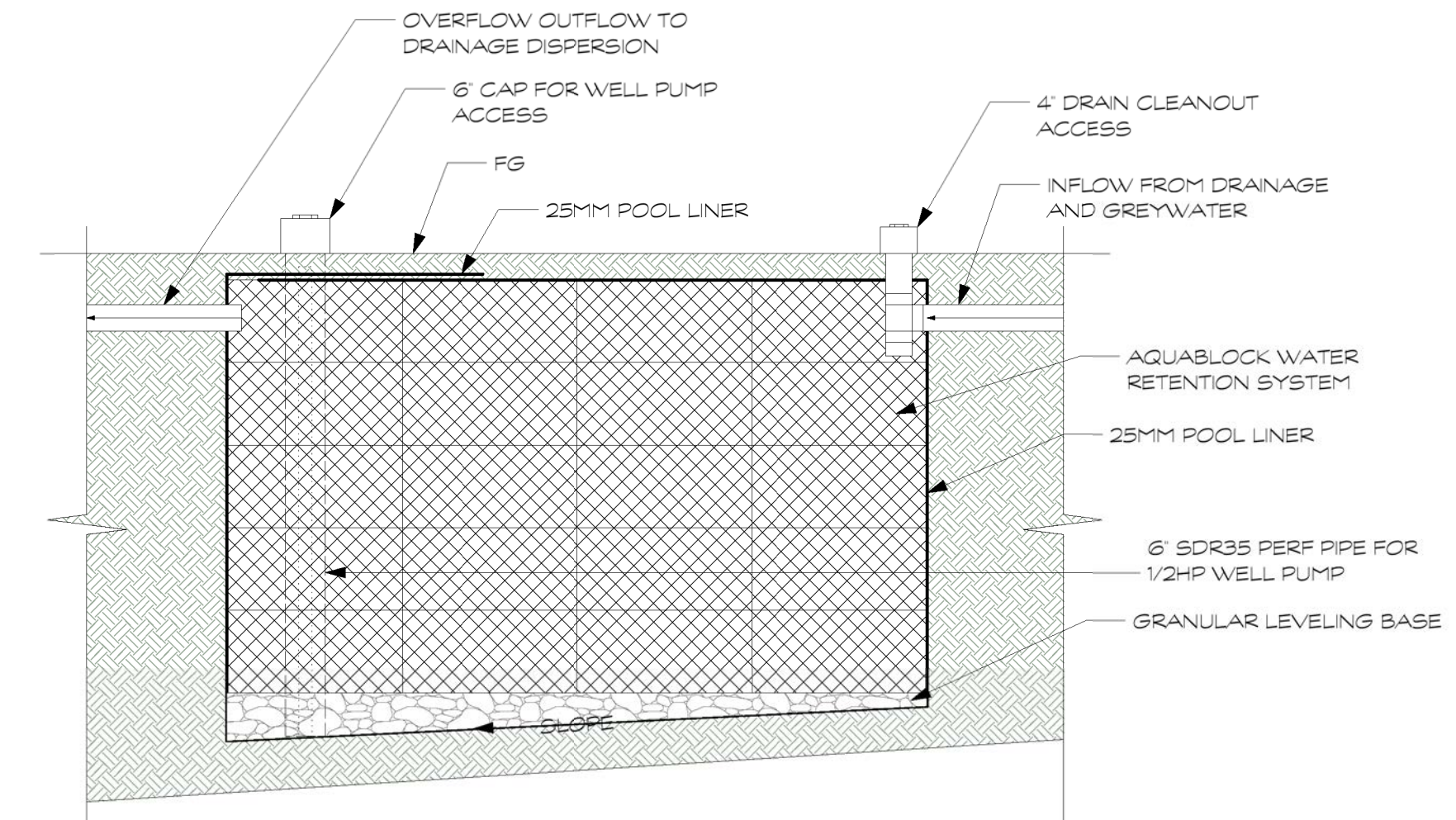
S-2 SECTION S-2: PROPOSED DECK STEPS AT BACK OF GARAGE
Scale: 1/2" = 1'



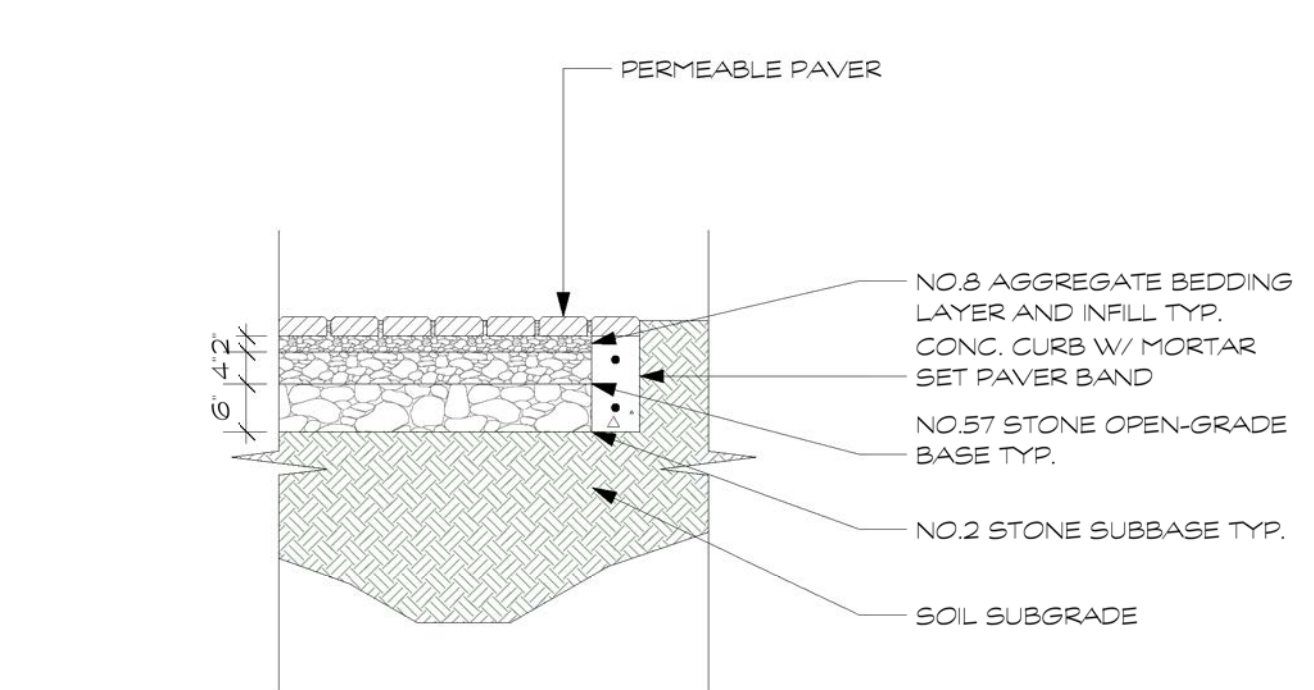
W-1 WOOD RETAINING WALL AND FENCE
Scale: 1/2" = 1'



C-1 CISTERN FOR GREYWATER/RECYCLED WATER IRRIGATION SYSTEM
Scale: 1/2" = 1'



S-2 SECTION S-2: PROPOSED DECK STEPS AT BACK OF GARAGE
Scale: 1/2" = 1'



P-1 PERMEABLE PAVER DRIVEWAY
Scale: 1/2" = 1'

SCOPE OF WORK:
-CONSTRUCTION OF NEW EXTERIOR COMPOSITE DECKING WITH GLASS HANDRAIL/GUARDRAIL SYSTEM
-RELOCATION OF EXISTING HOT TUB AND 50A/220V ELECTRICAL SUPPLY
-INSTALLATION OF 1,500GAL CISTERN FOR GREYWATER/RECYCLED WATER IRRIGATION SYSTEM
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APPLICABLE CODES:
SAN MATEO ZONING & BUILDING ORDINANCES

2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE

NOTE:
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