

0.07 0 0.04 0.07 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:2,256 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

# Application for Design Review by the County Coastside Design Review Committee

County Government Center • 455 County Center • Redwood City CA 94063  
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Permit #: PLN 2017-00698

Other Permit #: \_\_\_\_\_

### Applicant:

Name: Chris Ridgway Architect

Address: 670 Poplar St.  
HMB CA Zip: 94019

Phone, W: 650-622-6301 H: \_\_\_\_\_

Email: CRarchitect@coastside.net

### Owner (if different from Applicant):

Name: Bri Li, Nick Xue, & James Tia

Address: \_\_\_\_\_  
Bri Li #2 Zip: \_\_\_\_\_

Phone, W: 510-366-5270

Email: \_\_\_\_\_

### Architect or Designer (if different from Applicant):

Name: Same as applicant

Address: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_ Email: \_\_\_\_\_

### Project Site Information:

#### Project location:

APN: 047-111-270

Address: San Carlos Ave  
El Granada Zip: \_\_\_\_\_

Zoning: R1 S17

Parcel/lot size: 4800 sq. ft.

#### Site Description:

- Vacant Parcel
- Existing Development (Please describe): \_\_\_\_\_

### Project Description:

Project: House & Garage - 2343

New Single Family Residence: \_\_\_\_\_ sq. ft.

Addition to Residence: \_\_\_\_\_ sq. ft.

Other: Detached Garage

#### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

#### Describe Project:

Single Family House  
& Detached Garage

**4. Materials and Finish of Proposed Buildings or Structures**

Fill in Blanks:	Material	Color/Finish <small>(if different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	Hardie Plank Siding	Blue/gray	<input type="checkbox"/>
b. Trim	White Wood	White	<input type="checkbox"/>
c. Windows	White Alum Clad wood or vinyl	White	<input type="checkbox"/>
d. Doors	Wood	White	<input type="checkbox"/>
e. Roof	Comp. Shingles	Grey	<input type="checkbox"/>
f. Chimneys	Brick	red	<input type="checkbox"/>
g. Decks & railings	Wood	White	<input type="checkbox"/>
h. Stairs	Brick	Red	<input type="checkbox"/>
i. Retaining walls	Conc	gray	<input type="checkbox"/>
j. Fences	Wood	Natural	<input type="checkbox"/>
k. Accessory buildings			<input type="checkbox"/>
l. Garage/Carport	Same as above		<input type="checkbox"/>

**5. Required Findings**

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

**6. Signatures**

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: \_\_\_\_\_ Applicant: CHARL RIGGWAY ARCHITECT

Date: \_\_\_\_\_ Date: 3/11/17

# Application for a Coastal Development Permit

455 County Center, 2nd Floor • Redwood City, CA 94063  
 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

## Companion Page

Applicant's Name: Bin Li  
 Primary Permit #: PLN 2017-00098

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

Does the owner or applicant own any adjacent property not listed?

Yes     No

If yes, list Assessor's Parcel Number(s):

047 - 111 - ~~330~~  
330

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes     No

If yes, explain (include date and application file numbers).

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	Hardi Plank Lap siding	Benjamin Moore # 937 "Sheer Romance"	<input checked="" type="checkbox"/>
b. Trim	Wood	Benjamin Moore # 2123-70 "Ice Mist"	<input checked="" type="checkbox"/>
c. Roof	Comp. Shingles	GAF Timberline in charcoal	<input checked="" type="checkbox"/>
d. Chimneys	Brick	"Old Sacramento Blend"	<input type="checkbox"/>
e. Accessory Buildings	Hardi Plank Lap Siding	(Same as House)	<input type="checkbox"/>
f. Decks/Stairs	Wood + brick	(Same as trim) (Same as chimney)	<input type="checkbox"/>
g. Retaining Walls	Concrete	Natural finish	<input type="checkbox"/>
h. Fences	Wood	Redwood	<input type="checkbox"/>
i. Storage Tanks	n/a	n/a	<input type="checkbox"/>

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- |   | Yes                                 | No                                  |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| d. Beaches?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| e. Sand Dunes?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| g. Ridgetops?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| j. Grading or alteration of landforms?  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| k. Landscaping?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| l. Signs?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)?   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| n. Areas subject to flooding?   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper?  | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |

### California Coastal Commission Jurisdiction

#### A. Does the Proposed Project Involve:

- A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?  
 Yes       No
- Construction or grading within 100 feet of a stream or wetland?  
 Yes       No
- A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?  
 Yes       No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

- |  |                          |                                     |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities?                         | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities?   | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements?                        | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

**Explain all Yes answers below.** Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

- i. Typical removal of shrubs, etc
- j. 2300 cy for cut & fill
- k. Required new landscaping
- m. New Residence requires it

Commission; a public hearing is always required.

#### B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

Yes       No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: \_\_\_\_\_



# Environmental Information Disclosure Form

PLN 2017-00098

BLD \_\_\_\_\_

Project Address:

San Carlos Ave  
El Granada, CA

Assessor's Parcel No.: 047-111-276

Zoning District: R1 S17

Name of Owner: Bin Li, Nick Xue & James Jia

Address: 41686 Joyce Ave  
Fremont CA 94539 Phone: 510-366-5220

Name of Applicant: Chris Ridgway Architects

Address: 670 Poplar Street  
HMB CA Phone: 650-622-6301

## Existing Site Conditions

Parcel size: 4800

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

New Residence & detached Garage

## Environmental Review Checklist

### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>195</u> c.y. Fill: <u>40</u> c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

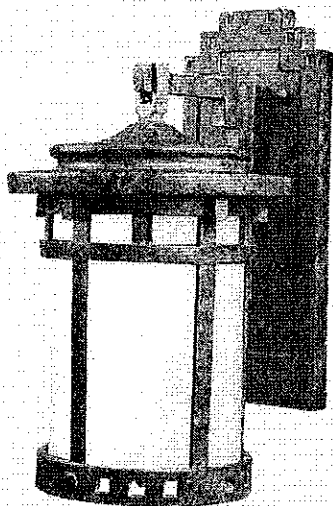
Please explain all "Yes" answers:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Signature required on reverse →

Home / Lighting & Ceiling Fans / Outdoor Lighting / Outdoor Wall Mounted Lighting / Outdoor Lanterns & Sconces

Model # 3144MOSE Internet #204347026



### Maxim Lighting Santa Barbara Dark Sky Outdoor Wall Mount

Write the first Review Ask the first question

**\$170<sup>00</sup>** /each

**LET'S PROTECT THIS.**  
Add a 2-year Home Depot Protection Plan for \$25.00  
[Learn More](#)

Quantity - 1 +

[Share](#) [Save to List](#) [Print](#)

**Not in Your Store - We'll Ship It There**

**Add to Cart**

We'll send it to E Palo Alto for free pickup

Available for pickup  
**August 11 - August 16**

[Check Nearby Stores](#)

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Free Shipping

Get it by  
**August 14**

[See Shipping Options](#)

Or buy now with **PayPal**

We're unable to ship this item to:  
GU, PR, VI

**Easy returns in store and online**  
[Learn about our return policy](#)

## Product Overview

Santa Barbara Dark Sky is a traditional, craftsman/mission style collection from Maxim Lighting in Sienna finish with Mocha glass. Designed to meet the requirements of Dark Sky, these fixtures preserve and protect the nighttime environment and the heritage of dark skies through quality outdoor lighting.

- Uses (1) incandescent bulbs
- Bulb(s) not included
- Easy installation instructions and template enclosed for convenient setup
- Includes installation hardware
- Adds traditional styling and visual interest to the outside of your home
- Please allow 3 days for shipping
- Durablely crafted from metal

### Info & Guides

- [Installation Guide](#)
- [Instructions / Assembly](#)
- [Use and Care Manual](#)
- [Warranty](#)

You will need Adobe® Acrobat® Reader to view PDF documents.  
[Download a free copy from the Adobe Web site.](#)



**CHRIS RIDGWAY ARCHITECT, INC.**  
 600 PULPAC STREET, HALF MOON BAY, CA 94040  
 PH: 650-627-6301, WEB: SITE-CRARCHITECT.NET  
 EMAIL: CRARCHITECT@COMCAST.NET

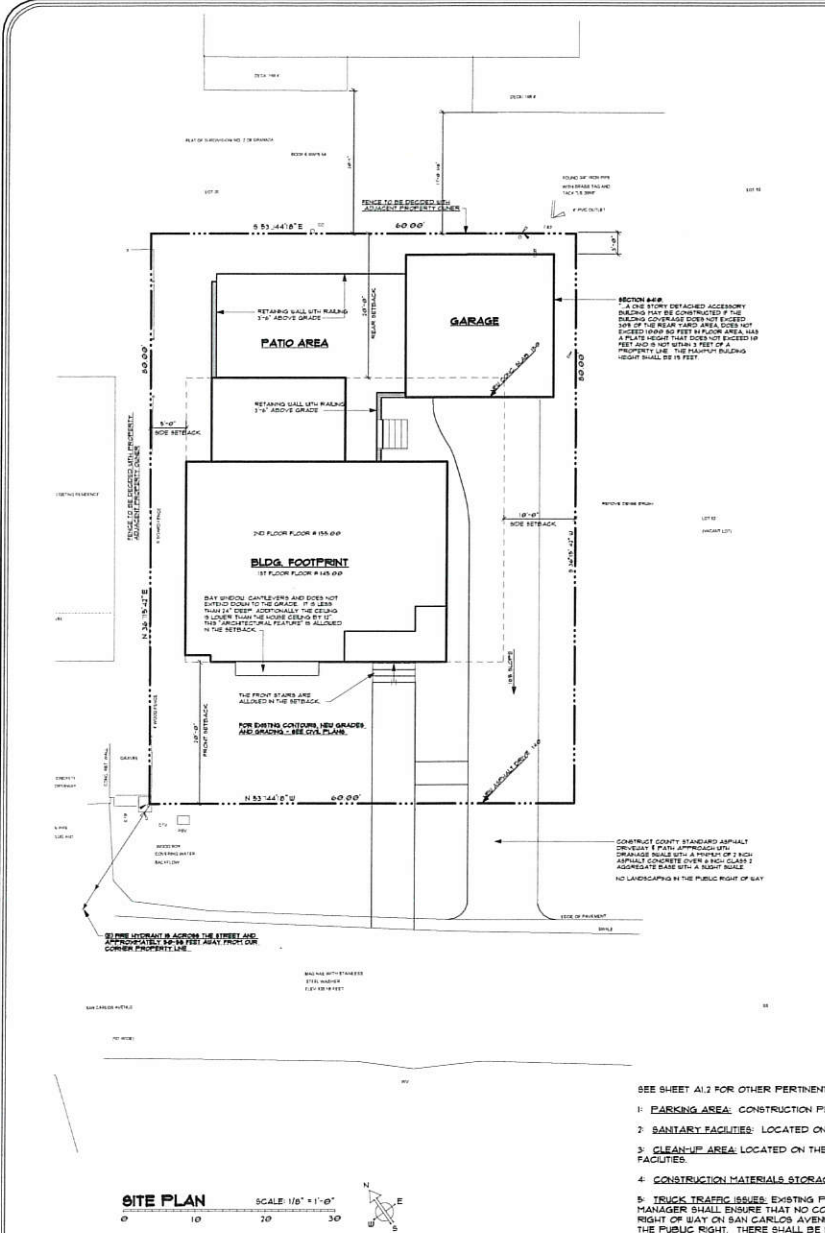


APN: 041-111-719  
 ADDRESS: SAN CARLOS AVE, EL GRANADA, CA

NEW RESIDENCE FOR:  
**U - XUE - JIA**  
 ADDRESS: SAN CARLOS AVE, EL GRANADA, CA

JOB # 1608  
 SCALE AS NOTED  
 DATE 03/08/11

SHEET **A1.1**



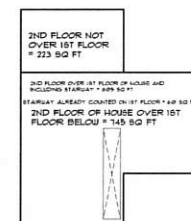
VICINITY MAP



LOCATION MAP



1ST SQ. FT. PLAN



2ND FLOOR SQ. FT. PLAN

AREA INCLUDED IN		SQUARE FOOTAGE
FLOOR AREA	FLOOR AREA	
X	X	959
X	X	416
X		16

PLANNING DEPARTMENT: SHCO  
 PLANNER WHO GAVE THE INFORMATION  
 CAMILLE LEUNG  
 ZONING: R-1 / S-11  
 A.P.N. # 041-111-719

X	X	223	2ND FLOOR OVER NOT OVER 1ST FLOOR BELOW
	X	149	2ND FLOOR OVER 1ST FLOOR BELOW
			2ND STORY BALCONY

1,614	OUR SITE COVERAGE
35%	PERCENTAGE OF SITE COVERAGE
4,800	LOT SIZE
1,680	MAXIMUM SITE COVERAGE ALLOWED
6	UNDER THE MAX SQUARE FEET

2,343	OUR TOTAL FLOOR AREA
*	PERCENTAGE OF FLOOR AREA ALLOWED
4,800	LOT SIZE - SUBSTANDARD
2,352	MAXIMUM FLOOR AREA ALLOWED
9	UNDER THE MAX SQUARE FEET

- 0.53 - (5,000 - PARCEL SIZE) x 0.000144 PARCEL SIZE.
- 0.53 - (5,000 - 4,800) x 0.000144 x 4,800.
- 0.53 - (1000 x 0.000144) x 4,800 + 0.53 - .04 = .49
- .49 x 4800 = 2,352 SQ. FT. ALLOWED

UNDERGROUND ELECTRICAL SERVICE SHALL BE PROVIDED IN ALL NEW CONSTRUCTION. ADDITIONS OF MORE THAN 30% OF THE (B) FLOOR AREAS & REMODELS WHERE THE ESTIMATED COST OF CONSTRUCTION IS \$600 OR MORE OF THE ACCESSED VALUATION OF THE BUILDING. UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE STATE CODE, ELECTRIC & GAS REQUIREMENTS, SECT. 5, ELECTRIC SERVICE UNDERGROUND (ORD. C-14101 PART 1), 2010; ORD. 1-06 (PART), 2008) PER MUNICIPAL CODE SECT. 14.04.010 (A).

SPECIAL INSPECTION REQUIRED FOR CONCRETE DRILLED PIERS AND CONCRETE COMPRESSIVE STRENGTH GREATER THAN 2500 PSI, EPOXY HOLDOWN ANCHORS, STRUCTURAL STEEL & WELDING AND SHEAR WALLS WITH HAIRING SPACED 4" OR LESS.

CLEANOUTS IN BUILDING SEWERS SHALL BE PROVIDED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE CITY/COUNTY. ALL CLEANOUTS SHALL BE MAINTAINED WATER-TIGHT.

**LIST OF DRAWINGS**  
FOR DESIGN REVIEW

AI.0	COLOR BOARD AND AXONOMETRIC
AI.1	TITLE PAGE AND SITE PLAN
AI.2	GENERAL NOTES
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	ROOF PLAN

A1.1	ELEVATIONS
A1.7	ELEVATIONS & SECTION A-A

ALL CONSTRUCTION SHALL CONFORM TO  
 2016 CALIFORNIA RESIDENTIAL CODE  
 2016 CALIFORNIA BUILDING CODE  
 2016 CALIFORNIA MECHANICAL CODE  
 2016 CALIFORNIA PLUMBING CODE  
 2016 CALIFORNIA FIRE CODE  
 2016 CALIFORNIA ELECTRICAL CODE  
 2016 CALIFORNIA ENERGY CODE  
 2016 CALIFORNIA GREEN BUILDING CODE STANDARDS

OCCUPANCY GROUP: R3-U  
 TYPE OF CONSTRUCTION TYPE V-B  
 SCOPE OF WORK: NEW RESIDENCE

PROJECT WILL REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM. CONTRACTOR MUST HAVE A C-16 LICENSE TO INSTALL DESIGN. FIRE HYDRANT COMPLIANCE MUST BE CHECKED.

- SEE SHEET AI.2 FOR OTHER PERTINENT NOTES RELATING TO THE CONSTRUCTION OPERATION PLAN (C.O.P.)
- PARKING AREA:** CONSTRUCTION PERSONNEL WILL PARK IN THE DRIVEWAY AREAS AND NOT IN THE STREET.
  - SANITARY FACILITIES:** LOCATED ON THE SOUTH-WEST SIDE END OF THE PROPERTY.
  - CLEAN-UP AREA:** LOCATED ON THE SOUTH-WEST SIDE END OF THE PROPERTY NEXT TO THE SANITARY FACILITIES.
  - CONSTRUCTION MATERIALS STORAGE:** LOCATED ON THE NORTH SIDE END OF THE PROPERTY.
  - TRUCK TRAFFIC ISSUES:** EXISTING PAVED DRIVEWAYS TO BE MAINTAINED DURING CONSTRUCTION. AN ON-SITE MANAGER SHALL ENSURE THAT NO CONSTRUCTION VEHICLES SHALL IMPEDED THROUGH TRAFFIC ALONG THE RIGHT OF WAY ON SAN CARLOS AVENUE. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON SITE OUTSIDE OF THE PUBLIC RIGHT. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT OF WAY.





ABBREVIATIONS

Table of abbreviations and their corresponding full names, including terms like ANCHOR BOLT, ASBESTOS, ACROUSTIC, AIR CONDITIONING, ASPHALTING CONCRETE, etc.

MISC. SITE PLAN NOTES & CONSTRUCTION OPERATION PLAN

UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PACIFIC GAS & ELECTRIC COMPANY REQUIREMENTS... CLEANOUTS IN BLDG. SEWERS SHALL BE APPROVED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE SEWER AUTHORITY... SPECIAL INSPECTION REQUIRED FOR CONCRETE FOUNDATION GREATER THAN 2,800 P.F.1. EPOXY HOLDINGS, HIGH STRENGTH BOLTS, 88BMC RESISTANCE AND STRUCTURAL STEEL WELDING... AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPALITY'S RIGHT OF WAY... THE APPLICANT/CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE BLDG. INSPECTION SECTION, THE DEPT. OF PUBLIC WORKS AND THE COASTSIDE FIRE PROTECTION DISTRICT... PRIOR TO FINAL INSPECTION, PAINT THE ADDRESS NUMBER ON THE FACE OF THE CURB NEAR THE DRIVEWAY APPROACH WITH BLACK LETTERING ON A WHITE BACKGROUND... INCLUDE HOUSE ADDRESS NUMERALS SHALL BE A MIN. 4" IN HEIGHT AND 3/4" STROKE OF CONTRASTING COLOR... COORDINATE UNDERGROUND CONSTRUCTION ACTIVITIES TO UTILIZE THE SAME JOINT TRIMM. MINIMIZE THE AMOUNT OF THE DISTURBED SOIL IS EXPOSED... STOCKPILE AND PROTECT DISPLACED TOPSOIL FOR REUSE... GENERAL CONTRACTOR (G.C.) TO VERIFY UTILITIES ARE MAINTAINED IN SAFE CONDITION AT TIMES OR REMOVE FROM SITE... G.C. TO VERIFY ALL HAZARDOUS MATERIALS HAVE BEEN REMOVED... G.C. TO VERIFY THAT THE WATER LINE THE BUILDING HAS BEEN CUT OFF AT THE PROPERTY LINE AND A HOSE BIB WITH A VACUUM BREAKER TYPE BACKFLOW PREVENTION DEVICE IS PROVIDED FOR DUST CONTROL... IF THERE IS NO CONSTRUCTION TRAILER USED FOR THIS PROJECT, THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC... THE DEBRIS BIN TO BE LOCATED SOMEWHERE ON THE SITE (SEE A.I.'S NOTES) DEBRIS TO BE HAULED OFF-SITE TO AS NECESSARY... THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC... THE APPLICANT/CONTRACTOR SHALL ENSURE THE NO CONSTRUCTION-RELATED VEHICLES SHALL IMPED THROUGH TRAFFIC ALONG THE RIGHT-OF-WAY ON SAN CARLOS AVE... NOISE LEVELS PRODUCED BY THE PROPOSED CONSTRUCTION ACTIVITY SHALL NOT EXCEED THE 80DBA LEVEL AT ANY ONE POINT... WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS... SURFACE RUNOFF FROM ALL IMPERVIOUS SURFACES SHALL BE DIRECTED TO THE WATER DETENTION AREAS... IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPE AREAS... SEE SEPARATE DRAINAGE PLAN BY CIVIL ENGINEER FOR OFFICIAL DESIGN OF EROSION CONTROL AND DRAINAGE PLAN... RAINWATER LEADERS (DOWNSPOUTS) TO BE INTO UNDERGROUND DRAIN... MAINTAIN 6" MINIMUM CLEARANCE FROM SOIL TO BOTTOM OF SIDING... DRAIN WATER AWAY FROM THE BUILDING... PRIOR TO THE ISSUANCE OF THE BLDG. PERMIT, THE APPLICANT/CONTRACTOR SHALL SUBMIT A DRIVEWAY PLAN & PROFILE TO THE DEPT. OF PUBLIC WORKS... NO PROPOSED CONSTRUCTION WORK WITHIN THE COUNTY RIGHT OF WAY SHALL BEGIN UNTIL THE COUNTY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT... PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE APPLICANT MAY BE REQUIRED TO PROVIDE PAYMENT OF ROADWAY MITIGATION FEES... THE APPLICANT SHALL SUBMIT A PERMANENT STORMWATER MANAGEMENT PLAN IN COMPLIANCE WITH THE COUNTY'S DRAINAGE POLICY AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENT... SCHEDULE WORK SO AS NOT TO INTERFERE UNDULY WITH THE NORMAL HOUSEHOLD OPERATIONS... NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

FIRE PROTECTION NOTES

- 1. AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA-13 MUST BE SUBMITTED... 2. SHOCK DETECTORS ARE HARDWIRED... 2A. SMOKE/CARBON MONOXIDE DETECTORS... 4. ESCAPE OR RESCUE UNDOORS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA... 4A. IDENTIFY RESCUE UNDOORS... 5. OCCUPANCY SEPARATION ATTACHED GARAGE TO MEET OCCUPANCY SEPARATION REQUIREMENTS PER CRC 9302.6... 6. ADDRESS NUMBERS... 6A. NEW RESIDENTIAL ADDRESS NUMBERS... 7. ROOF COVERING... 8. AUTOMATIC FIRE SPRINKLER SYSTEMS... 9. INSTALLATION OF UNDERGROUND SPRINKLER PIPE... 10. EXTERIOR BELL AND INTERIOR W/STROBE... 11. SOLAR PHOTOVOLTAIC SYSTEMS... 12. FIRE ACCESS ROADS... 13. FIRE APPARATUS ROADS... 14. NO PARKING - FIRE LANE... 15. FIRE HYDRANT... 16. THE REQUIRED FIRE FLOW SHALL BE AVAILABLE... A. VEGETATION MANAGEMENT... B. TREES LOCATED WITHIN THE DEFENSIBLE SPACE... C. TO MEET THAT PORTION OF ANY EXISTING TREE... D. THE INSTALLATION OF AN APPROVED SPARK ARRESTER... E. A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED... F. TREES LOCATED WITHIN THE DEFENSIBLE SPACE...



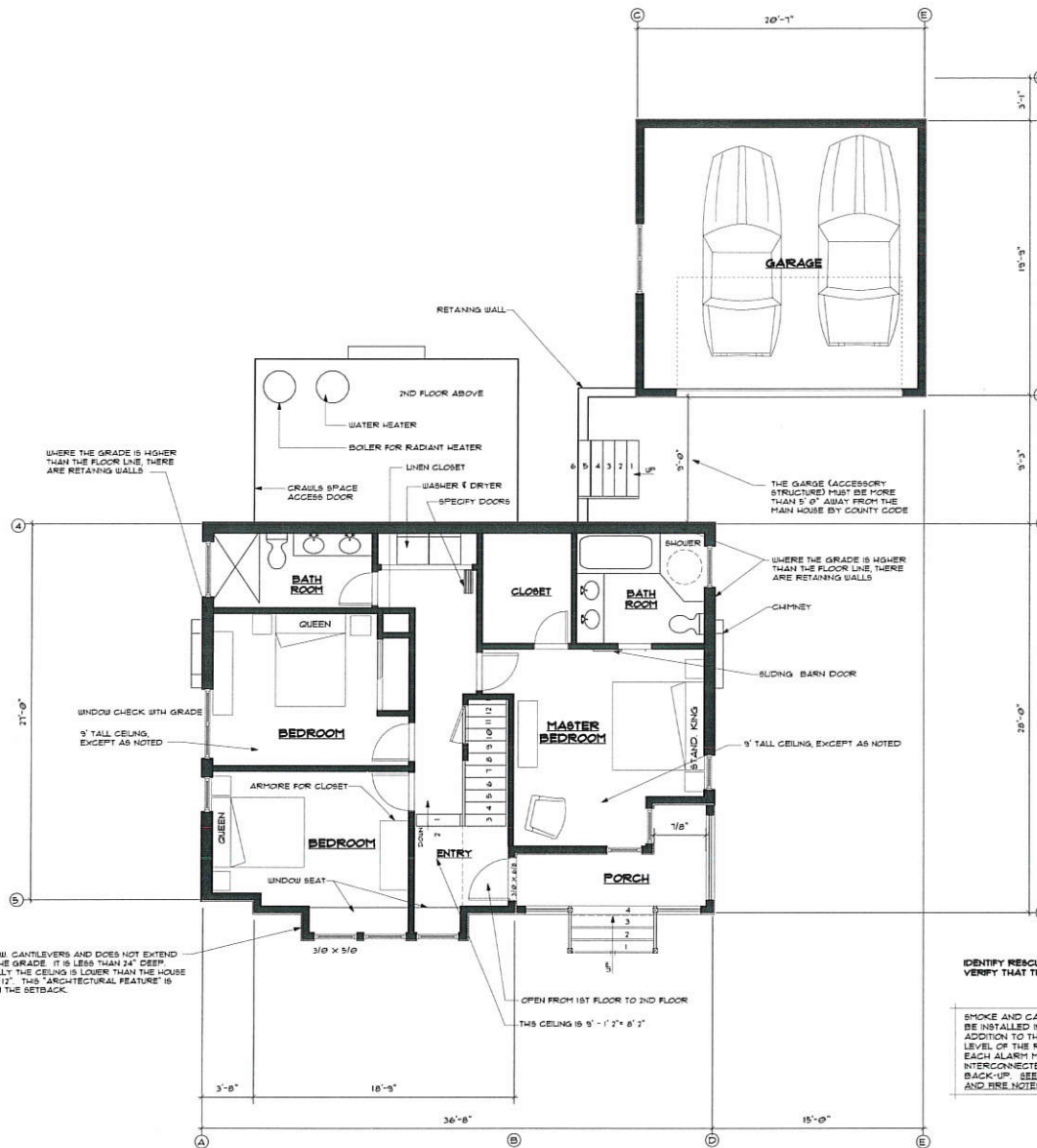
CHRIS RIDGWAY ARCHITECT, INC.
500 POPULAR STREET, HALF MOON BAY, CA 94040
TEL: 650-652-6200
WWW: WWW.CRA-ARCHITECT.COM
EMAIL: CRA-ARCHITECT@CRA-ARCHITECT.COM



NEW RESUBMIT FOR:
A.P.N. 04-7111-70
LI - XUE - JIA
ADDRESS: SAN CARLOS AVE, EL GRANADA, CA

JOB #
1608
SCALE
AS NOTED

DATE
03/08/11
SHEET
A1.2



WHERE THE GRADE IS HIGHER THAN THE FLOOR LINE, THERE ARE RETAINING WALLS

THE GARAGE (ACCESSORY STRUCTURE) MUST BE MORE THAN 5'-0" AWAY FROM THE MAIN HOUSE BY COUNTY CODE

WHERE THE GRADE IS HIGHER THAN THE FLOOR LINE, THERE ARE RETAINING WALLS

WINDOW CHECK WITH GRADE  
9' TALL CEILING, EXCEPT AS NOTED

9' TALL CEILING, EXCEPT AS NOTED

RAY WINDOW CANTILEVERS AND DOES NOT EXTEND DOWN TO THE GRADE. IT IS LESS THAN 3/4" DEEP. ADDITIONALLY, THE CEILING IS LOWER THAN THE HOUSE CEILING BY 12". THIS "ARCHITECTURAL FEATURE" IS ALLOWED IN THE SETBACK.

IDENTIFY RESCUE WINDOWS IN EACH BEDROOM & VERIFY THAT THEY MEET ALL REQUIREMENTS

SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM IN ADDITION TO THE CORRIDORS AND ON EACH LEVEL OF THE RESIDENCE. FURTHERMORE, EACH ALARM MUST BE HARDWIRED, INTERCONNECTED AND EQUIPPED WITH BATTERY BACK-UP. SEE ELECTRICAL PLANS FOR LAYOUT AND FIRE NOTES ON SHEET A1.2.

1ST FLOOR PLAN

SCALE: 1/4" = 1'-0"



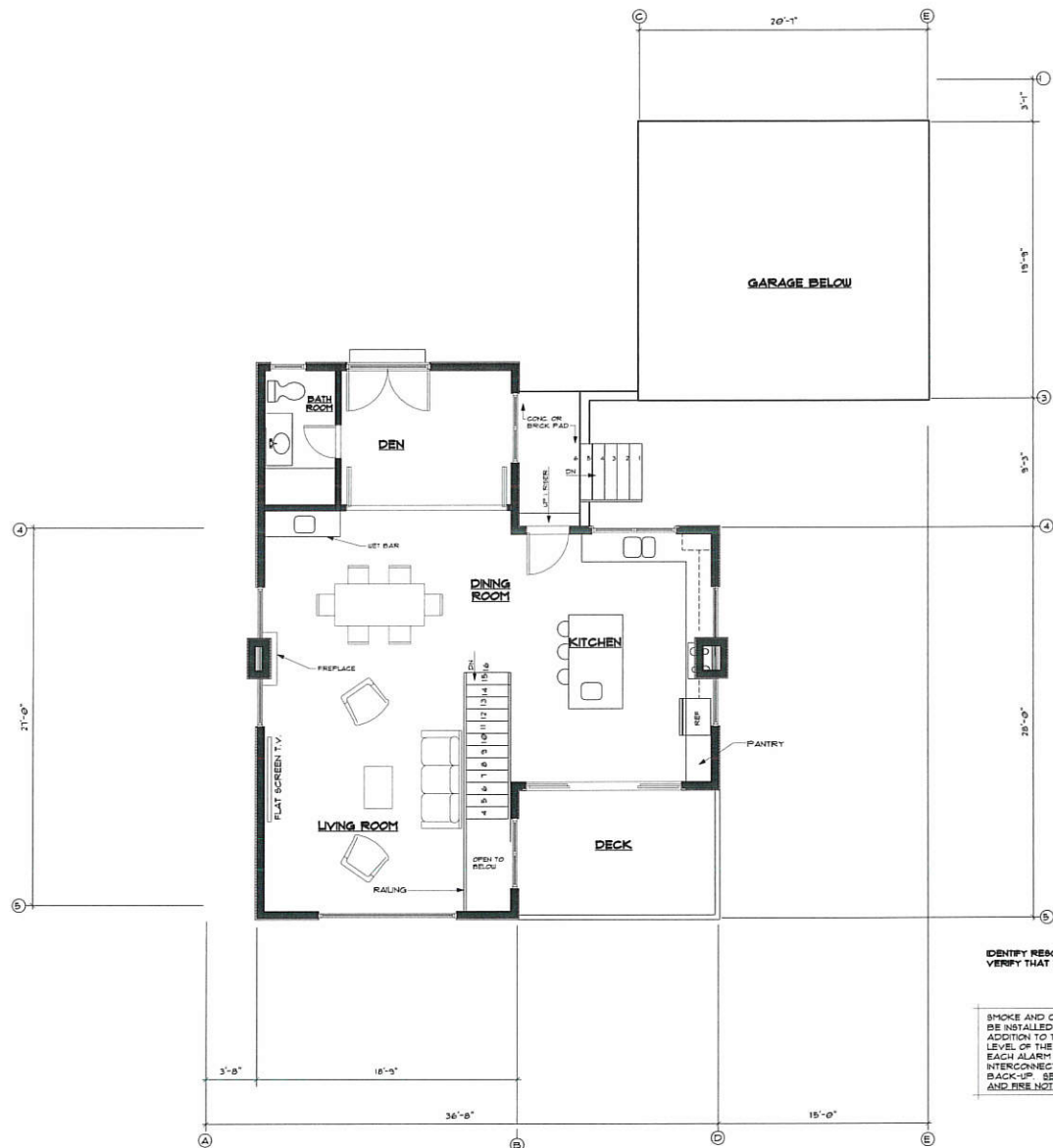
**CHRIS RIDGWAY ARCHITECT, INC.**  
 870 POPULAR STREET, HALF MOON BAY, CA 94019  
 TEL: 415.462.6200  
 WWW.CHRRIDGWAYARCHITECT.COM



NEW RESIDENCE FOR:  
**LI - XUE - JIA**  
 ADDRESS: SAN CARLOS AVE, EL GRANADA, CA  
 A.P.N. 04T-111-719

JOB # 16-09  
 SCALE AS NOTED  
 DATE 03/09/11

SHEET  
**A2.1**



2ND FLOOR PLAN

SCALE 1/4" = 1'-0"



IDENTIFY RESCUE WINDOWS IN EACH BEDROOM & VERIFY THAT THEY MEET ALL REQUIREMENTS

SMOKE AND CARBON MONOXIDE ALARMS TO BE INSTALLED IN EACH SLEEPING ROOM IN ADDITION TO THE CORRIDORS AND ON EACH LEVEL OF THE RESIDENCE. FURTHERMORE, EACH ALARM MUST BE HARDWIRED, INTERCONNECTED AND EQUIPPED WITH BATTERY BACK-UP. SEE ELECTRICAL PLANS FOR LAYOUT AND FIRE NOTES ON SHEET A1.1.



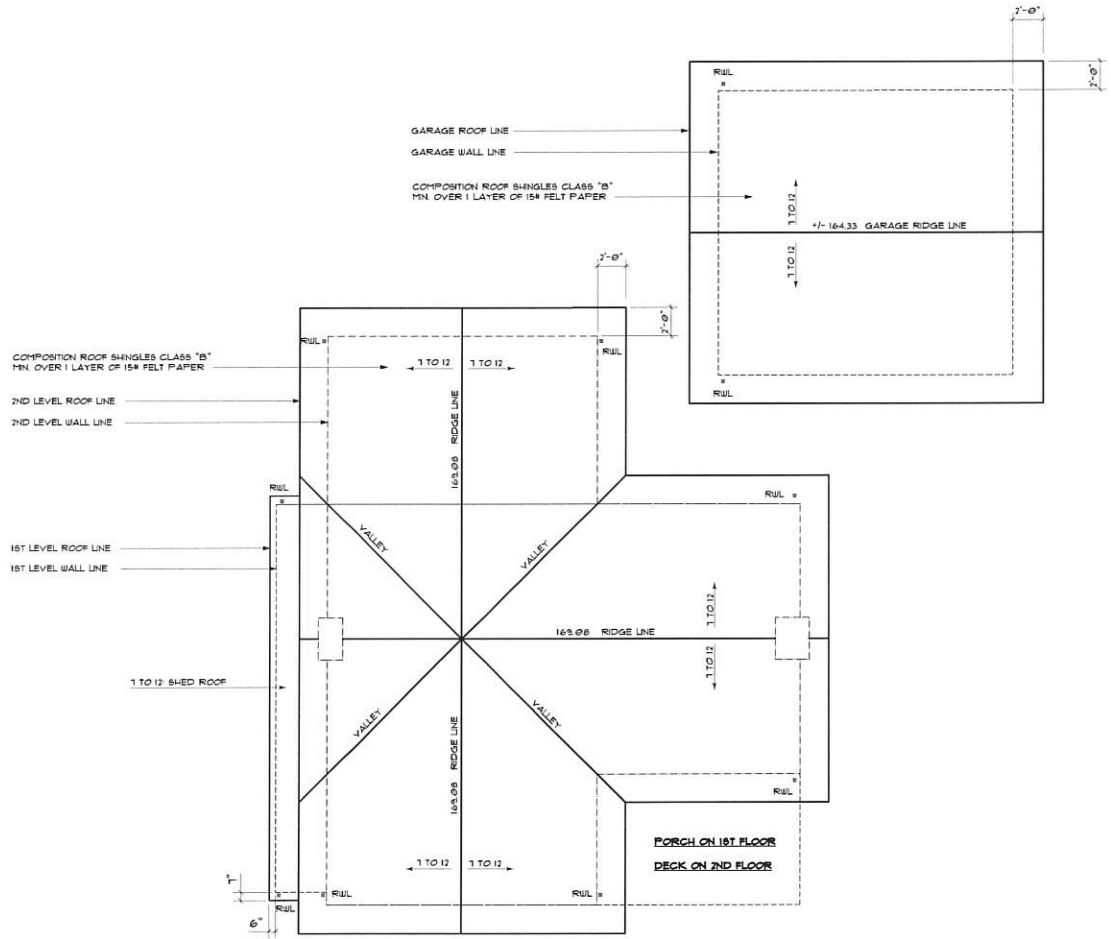
CHRIS RIDGWAY ARCHITECT, INC.  
 878 POPLAR STREET, HALF MOON BAY, CA 94018  
 PH: 415.464.1111 FAX: 415.464.1112  
 EMAIL: CRARCHIT@COMCAST.NET



NEW RESIDENCE FOR:  
 LI - XUE - JIA  
 ADDRESS: SAN CARLOS AVE, EL GRANADA, CA  
 A.P.N. 041111719

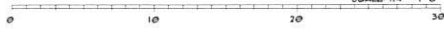
JOB # 16-09  
 SCALE AS NOTED  
 DATE 03/09/11

SHEET  
 A2.2



**ROOF PLAN**

SCALE: 1/4" = 1'-0"



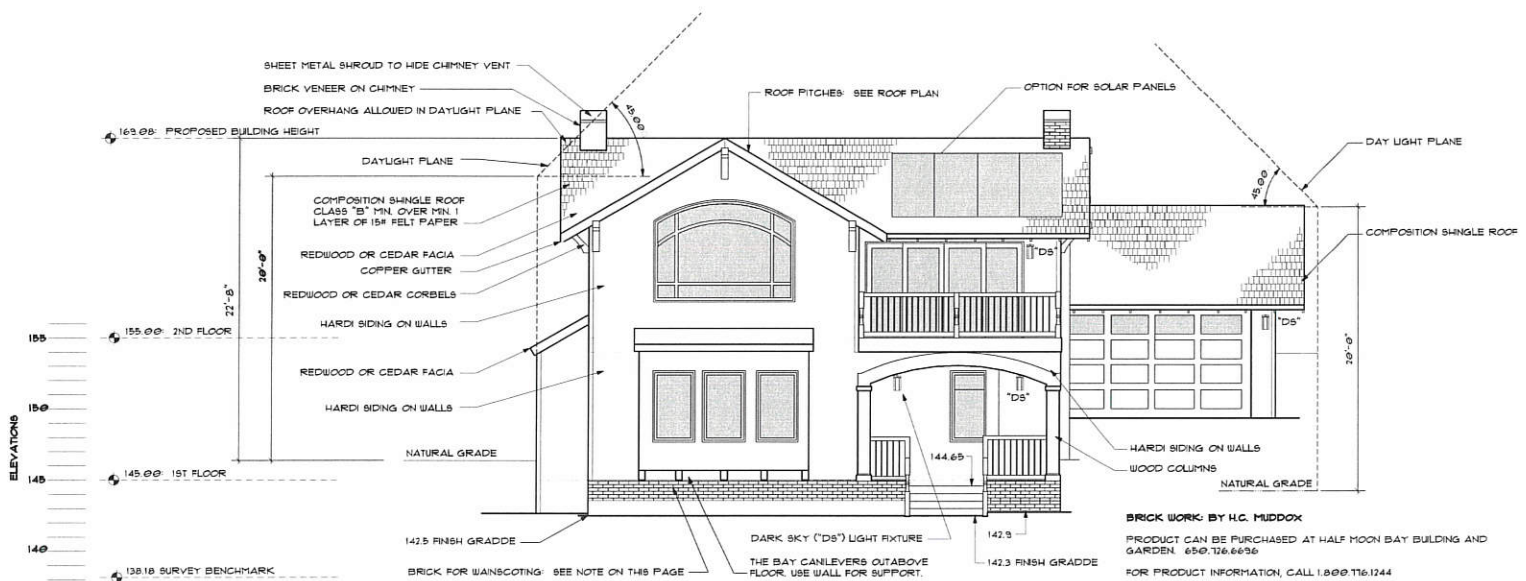
**CHRIS RIDGWAY ARCHITECT, INC.**  
 670 POPLAR STREET, HALF MOON BAY, CA 94019  
 PH: 855.622.8001 WEB: CHRISRIDGWAYARCHITECT.NET  
 EMAIL: CHRISRIDGWAYARCHITECT@GMAIL.COM



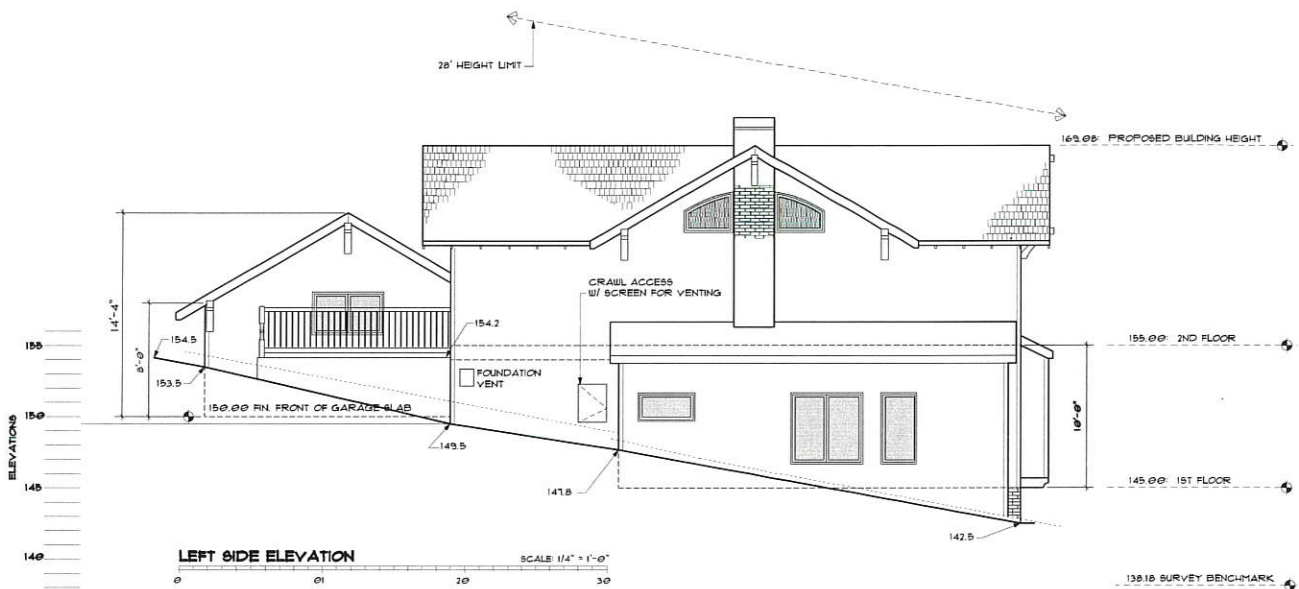
NEW RESIDENCE FOR:  
**LJ - XUE - JIA**  
 ADDRESS: SAN CARLOS AVE., EL GRANADA, CA  
 A.P.N. 047-111-710

JOB # 1609  
 SCALE AS NOTED  
 DATE 03/09/17

SHEET  
**A2.3**



**FRONT ELEVATION**  
SCALE 1/4" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"

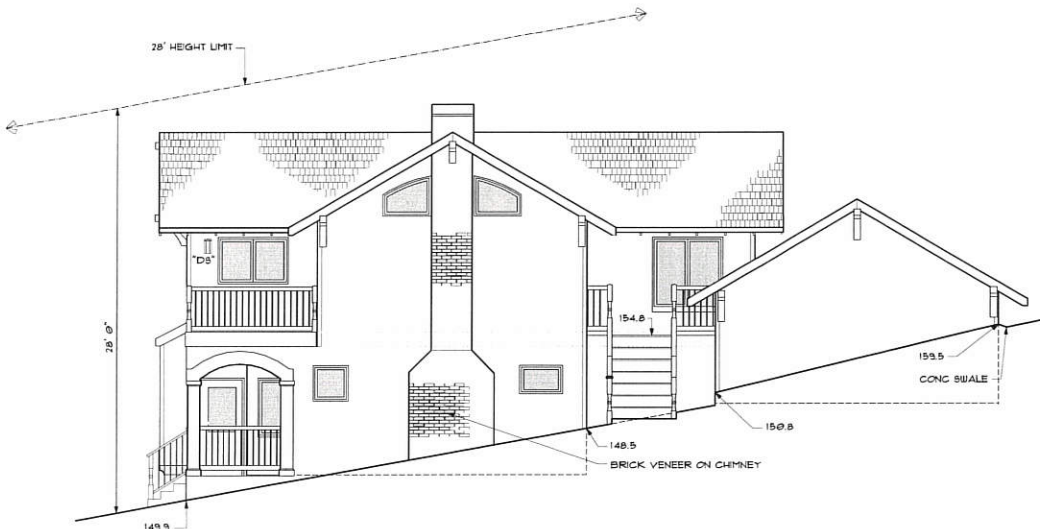
**70**

**CHRIS RIDGWAY ARCHITECT, INC.**  
 810 POPULAR STREET, HALF MOON BAY, CA 94035  
 650.922.0000, WEB SITE: CRARCHITECT.NET  
 EMAIL: CRARCHITECT@COMCAST.NET

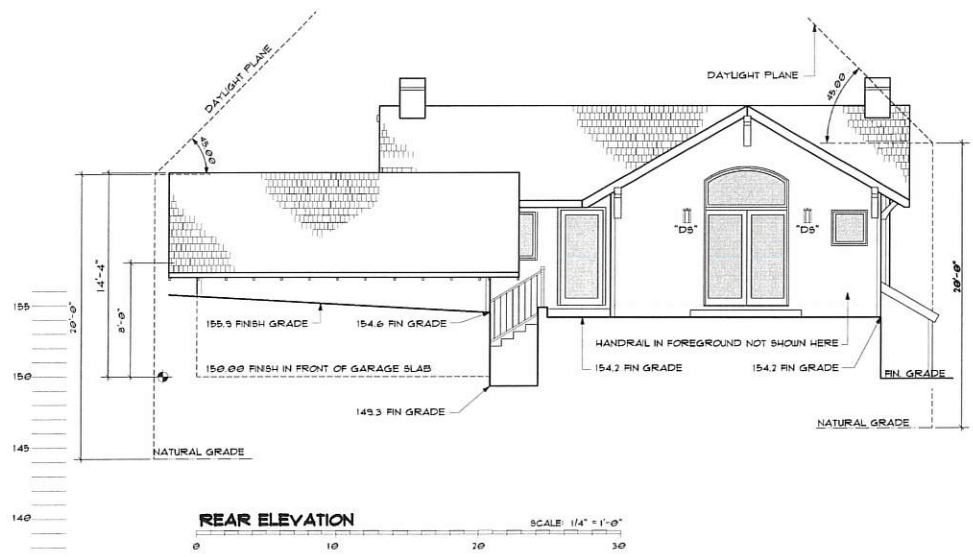
LICENSED ARCHITECT  
 STATE OF CALIFORNIA  
 C 1988  
 EXP. 4/31/17

NEW RESIDENCE FOR  
**U - XUE - JIA**  
 A.P.N. 041-111-719  
 ADDRESS: SAN CARLOS AVE, EL GRANADA, CA

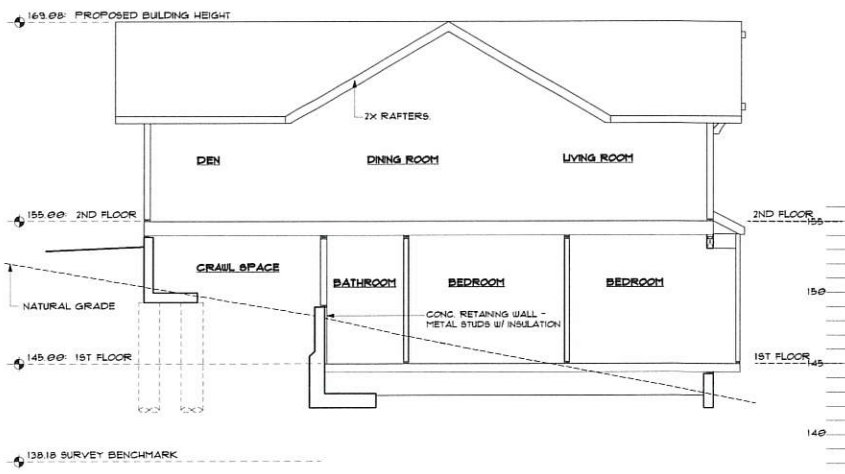
JOB #  
 1608  
 SCALE  
 AS NOTED  
 DATE  
 03/08/11  
 SHEET  
**A3.1**



**RIGHT SIDE ELEVATION**  
SCALE 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"



**SECTION A-A**  
SCALE 1/4" = 1'-0"



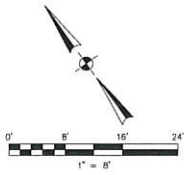
**CHRIS RIDGWAY ARCHITECT, INC.**  
609 POPULAR STREET, HALF MOON BAY, CA 94019  
PH: 415.464.1111 FAX: 415.464.1112  
EMAIL: CRARCHITECT@CA2Y.SITE.NET



NEW RESIDENCE FOR:  
**U - XUE - JIA**  
ADDRESS: SAN CARLOS AVE, EL GRANADA, CA

JOB # 1608  
SCALE AS NOTED  
DATE 02/08/17

SHEET  
**A3.2**



**BASIS OF BEARINGS**

BEARINGS SHOWN HEREON TAKEN FROM THE RECORD OF SURVEY BY TURNROSE LAND SURVEYING WHICH WAS FILED FOR RECORD IN VOLUME 31 OF LLS MAPS PAGE 13 ON APRIL 22, 2008, SAN MATEO COUNTY RECORDS.

**BENCHMARK**

THE DISK IN HANDHOLE AT THE INTERSECTION OF SAN CARLOS AND CARNEL AVENUES TBM #17 AS SHOWN ON PAGE 9 FROM FIELD BOOK 756-74, SAN MATEO COUNTY SURVEYS. TBM TO USE FOR SITEWORK IS THE MAG NAIL WITH STAINLESS STEEL WASHER WITH AN ELEVATION OF 138.18 FEET.

**NOTES:**

BGT RELED UPON AN OLD REPUBLIC TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 0619022548, AS TITLE REFERENCE. NO ENCUMBRANCES WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

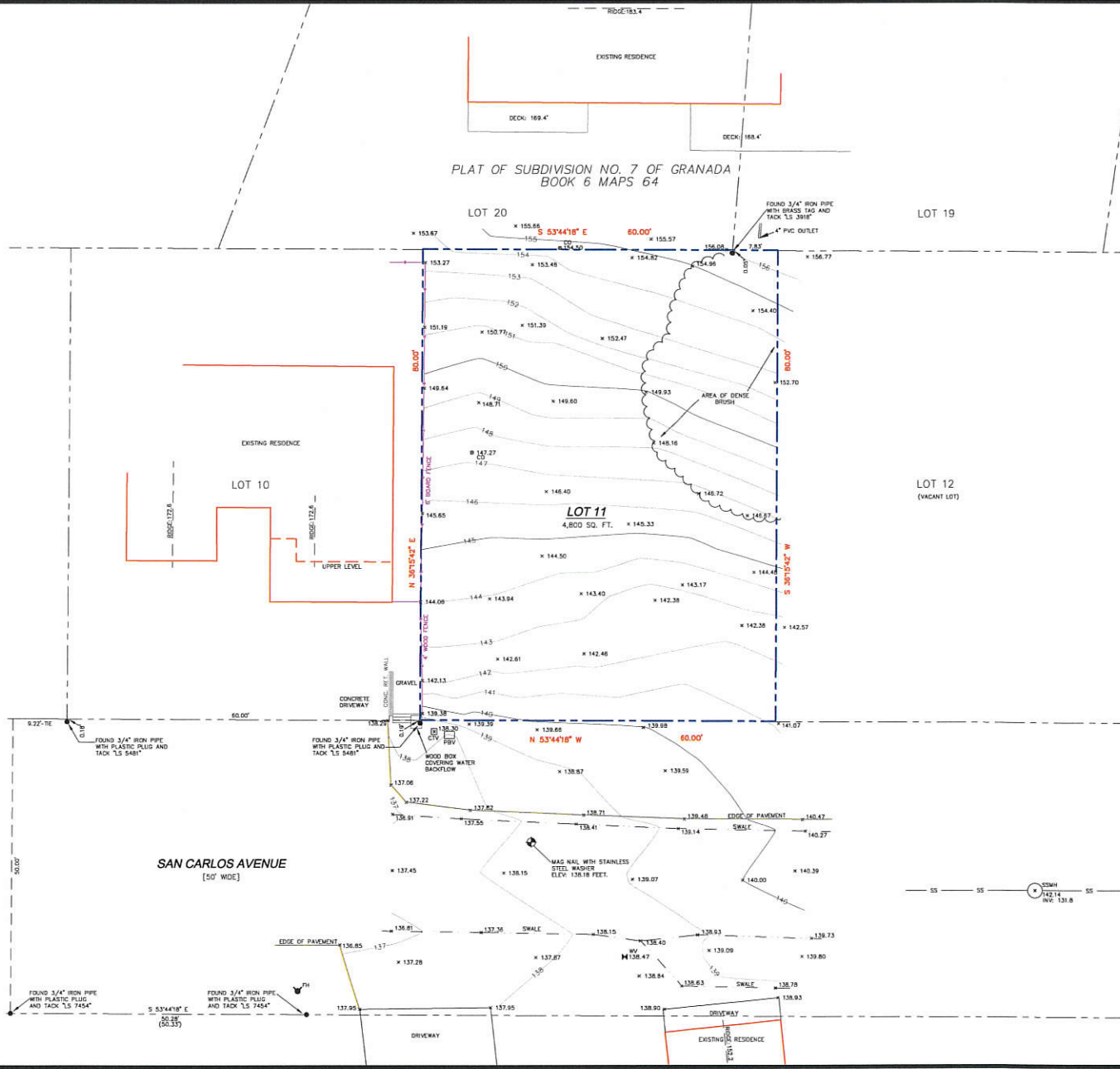
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 5 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtlandsurveying.com

DATE OF FIELD SURVEY: SEPTEMBER 13, 2016  
JOB NUMBER: 16-111

**LEGEND**

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- CL CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- DI GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INX INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT LATERAL
- LG LIFT
- UP OF CUTTER
- MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/ABC VAULT
- PVC PVC VAULT
- PV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SLV STREET LIGHT VAULT
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TB TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WB WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LOT 11, BLOCK 76, "PLAT OF RESUBDIVISION NO. 7 OF GRANADA" (BOOK 6 MAPS 64)  
**VACANT LOT, SAN CARLOS AVENUE**  
 EL GRANADA, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:  
 047-111-270  
 Prepared For:  
 4168 ZOVIE AVENUE  
 FREMONT, CA 94533  
 Date: SEPT. 2016  
 Scale: 1" = 8'  
 Contour Interval: 1'  
 Drawn by: L.J.H.  
 Revision:  
**SU-1**  
 Job No. 16-111



**CHRIS RIDGWAY ARCHITECT, INC.**  
 500 POPULAR STREET, HALF MOON BAY, CA 94019  
 PH: 415.947.8888 FAX: 415.947.8889  
 EMAIL: CHRISR@RIDGWAYARCHITECT.NET  
 BURLINGAME, CA 94010



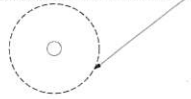
APN: 04-111-210  
 NEW RESIDENCE FOR:  
**JIA - XUE - JIA**  
 ADDRESS: SAN CARLOS AVE., EL GRANADA, CA

JIA - XUE - JIA  
 ADDRESS: SAN CARLOS AVE., EL GRANADA, CA

JOB # 1608  
 SCALE AS NOTED  
 DATE 03/08/11

SHEET  
**L91**

(B) TREE ON THE ADJACENT PROPERTY TO BE PROTECTED DURING CONSTRUCTION. SEE "TREE PROTECTION DETAIL" ON SHEET L82



CONC PAVERS OR FLAGSTONE

Because of the existing condition tree on the neighboring property this area is shaded and has a circle. Plants are selected that do well in this "tree shadow"

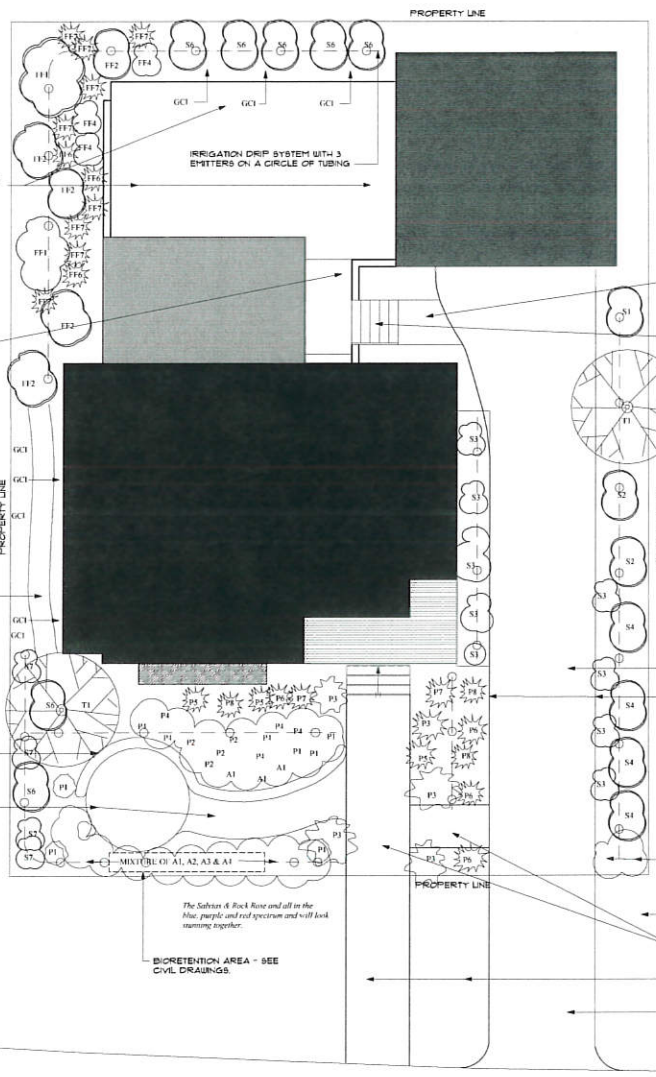
IRRIGATION DRIP SYSTEM WITH 3 EMITTERS ON A CIRCLE OF TUBING

CONCRETE PATIO

CONC PAVERS OR FLAGSTONE PATH

INSTALL DRIP IRRIGATION SYSTEM DRYSTACKED ROCK RET. WALL APPROX 16" TALL

CONC PAVERS OR FLAGSTONE



CONCRETE PATH TO EXPOSE THE PEA GRAVEL AGGREGATE ON SURFACE OR USE FLAGSTONE

STAIRS IN CONCRETE AND GLAD WITH SOLID BRICKS

ASPHALT DRIVEWAY

EDGE OF PAVEMENT

INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC PER 1,000 SQ. FT. TO A DEPTH OF 12 INCHES INTO LANDSCAPE AREA

REMOVE EXISTING DENSE DRUG  
 THERE ARE NO EXISTING TREES ON THE LOT, THEREFORE NO TREE PLAN IS INCLUDED IN THIS SUBMITTAL.  
 Mixture of A1, A2, A3 & A4

"MULCH" BETWEEN PLANTS, TYP

NO LANDSCAPING IN THE PUBLIC RIGHT OF WAY

CONCRETE PATH & STAIRS EXPOSE THE PEA GRAVEL AGGREGATE ON SURFACE OR USE FLAGSTONE

STEPPING STONE PATH - THESE STEPPING STONES MUST BE REMOVABLE IF PUBLIC WORKS NEEDS TO WORK IN THE RIGHT AWAY

ASPHALT DRIVEWAY

STREET

The flowers selected attracts humming birds and butterflies.

**TREES**

- T1 *Arhusia maritima*, STRAWBERRY TREE. 15'-20' tall. Little water required. Attractive red bark, and clusters of white flowers and small red fruit. Make a good street tree along the north side of the driveway. You can see them growing on Main Street in City of Half Moon Bay. Available at Bergand's Nursery, 5 gallon
- T2 *Maytenus boaria* "Green showers", CHIEFAN MAYTEN TREE. Evergreen. Slow growing to 25'

**SHRUBS**

- S1 *Ceanothus* "Ray Harvest", 1 gallon
- S2 *Ceanothus*, "Darkblue", 1 gallon
- S3 *Larrea*, *tridentata*, 2' tall with trailing branches 3' or 4' 1 gallon
- S4 *Larrea*, *tridentata*, Orange flowers, 5' tall. Full sun. Drought tolerant. 1 gallon
- S5 *Eucalyptus*, *rubra*, 10' tall. Clusters of small pink flowers.
- S6 *Eucalyptus*, *rubra*, 10' tall. Clusters of small pink flowers.
- S7 *Eucalyptus*, *rubra*, 10' tall. Clusters of small pink flowers.

**PERENNIALS**

- P1 *Asplenium platyneuron*, "California Starburst", 1 gallon. This is the plant that Monarch butterflies eat exclusively.
- P2 *Asplenium platyneuron*, "California Starburst", 1 gallon. This is the plant that Monarch butterflies eat exclusively.
- P3 *Crocus*, *corcyranus*, "Redline", 4" tall and wide. Full sun. Little water.
- P4 *Crocus*, *corcyranus*, "Redline", 4" tall and wide. Full sun. Little water.
- P5 *Salvia*, *leucantha*, "Mystic Sage", 1 gallon. Full sun. Little water.
- P6 *Salvia*, *leucantha*, "Mystic Sage", 1 gallon. Full sun. Little water.
- P7 *Salvia*, *leucantha*, "Mystic Sage", 1 gallon. Full sun. Little water.
- P8 *Salvia*, *leucantha*, "Mystic Sage", 1 gallon. Full sun. Little water.

**ANNUALS**

- A1 *Calceolola californica*, "California Poppy", 1 gallon. Drought tolerant.
- A2 *Crocus*, *corcyranus*, "Redline", 4" tall and wide. Full sun. Little water.
- A3 *Crocus*, *corcyranus*, "Redline", 4" tall and wide. Full sun. Little water.
- A4 *Lupinus*, *albus*, "White Lupine", 1 gallon. Full sun. Little water.

**GROUND COVER**

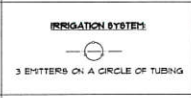
GCI *Vaccinium*

**THE PROJECT HAS APPROXIMATELY 1,350 SQ. FT. OF LANDSCAPING**

INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC PER 1,000 SQ. FT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA

APPLY MULCH AT A MIN 3-INCH LAYER ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUNDCOVERS. IT'S FOR MOISTURE RETENTION AND WEED CONTROL.

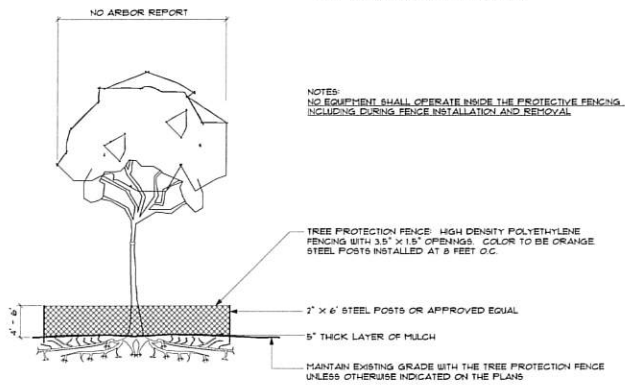
THERE ARE NO EXISTING TREES ON THE LOT, THEREFORE NO TREE PLAN IS INCLUDED IN THIS SUBMITTAL.



**LANDSCAPING PLAN** SCALE: 1/8" = 1'-0"

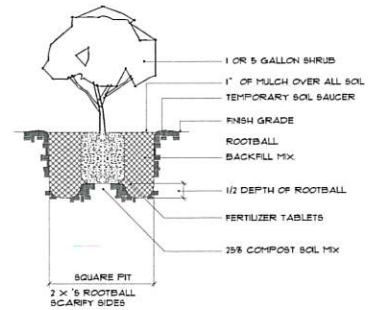






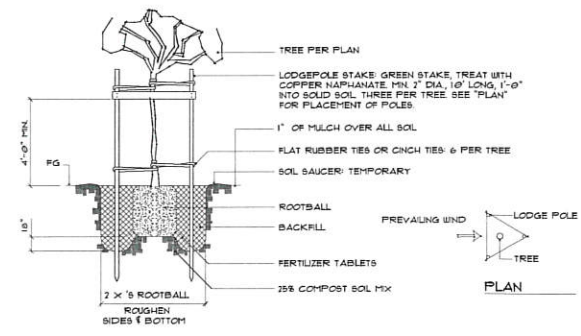
**TREE PROTECTION DETAIL**

SCALE: NONE



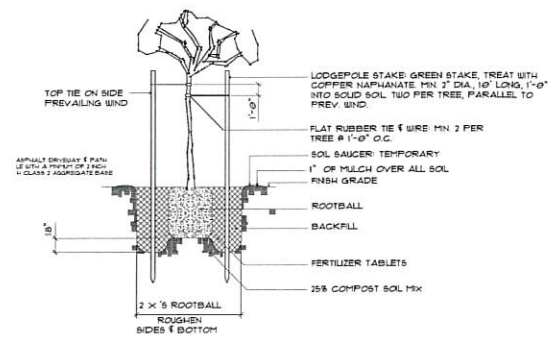
**SHRUB PLANTING DETAIL**

NOT TO SCALE



**BOX TREE STAKING DETAIL**

NOT TO SCALE



**TREE STAKING DETAIL**

NOT TO SCALE



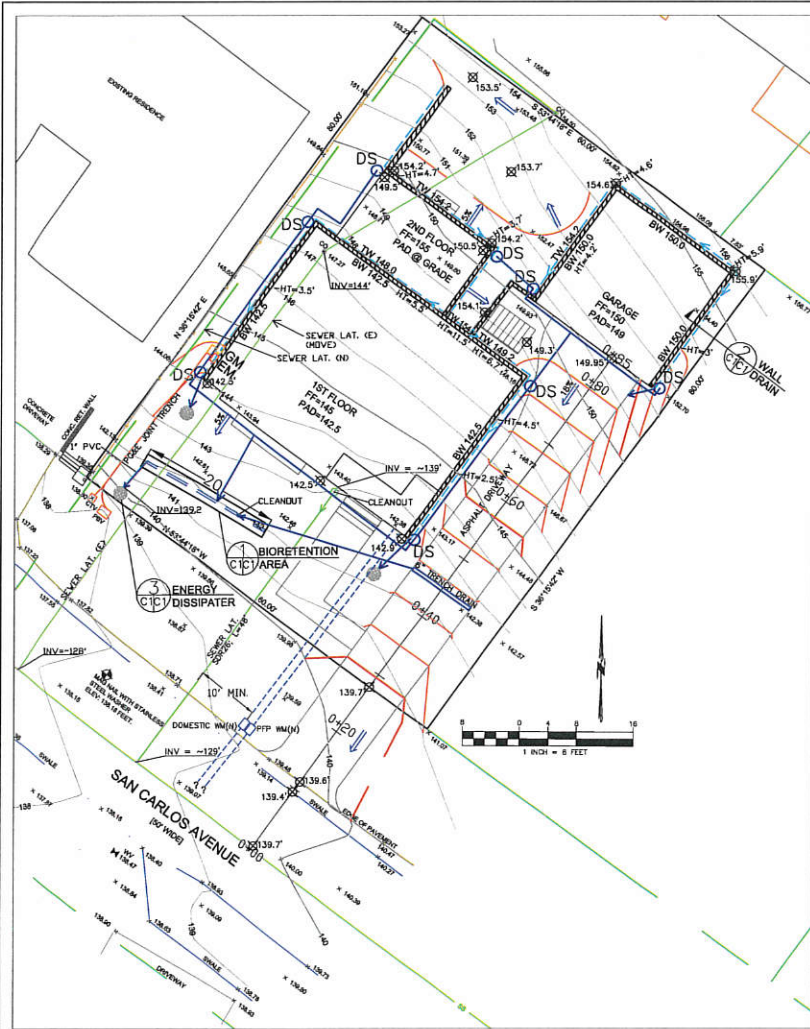
**CHRIS RIDGWAY ARCHITECT, INC.**  
619 POPLAR STREET, HALF MOON BAY, CA 94019  
PH: 650.662.0301 WEB SITE: CRARCHITECT.NET  
EMAIL: CRARCHITECT@COMCAST.NET



NEW RESIDENCE FOR:  
**LI - XUE - JIA**  
ADDRESS: SAN CARLOS AVE, EL GRANADA, CA

JOB # 16009  
SCALE AS NOTED  
DATE 03/08/11

SHEET  
**L92**



**LEGEND**

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPOSED CONTOUR
- X 154.96 SPOT ELEVATION (E)
- ⊕ 155.9' SPOT ELEVATION (N)
- SURFACE DRAINAGE FLOW
- DS ○ DOWNSPOUT
- 3" DIAM. PVC DRAIN PIPE
- 3" PERFORATED PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- ▨ PROPOSED RETAINING WALL
- ENERGY DISSIPATOR - PER DETAIL 3

**GENERAL NOTES**

1. PLANS PREPARED AT REQUEST OF: BIN LI
2. ELEVATION DATUM: ASSUMED
3. CONTOUR INTERVAL IS 1 FOOT.
4. SITE SURVEYED BY OTHERS; UNKNOWN DATE.
5. THIS IS NOT A BOUNDARY SURVEY.

**DRAINAGE NOTES**

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO DRY WELL SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 3" MIN. DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE BIORETENTION AREA TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

**GRADING NOTES**

CUT VOLUME: 185 CY  
 FULL VOLUME: 40 CY  
 TOTAL CUT/FILL = 235 CY

ABOVE VOLUMES ARE APPROXIMATE AND ARE FOR VERY LITTLE WORK TO BUILD FOUNDATIONS, TO BUILD THE DRIVEWAY, AND TO SLOPE GROUND FOR PROPER DRAINAGE.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

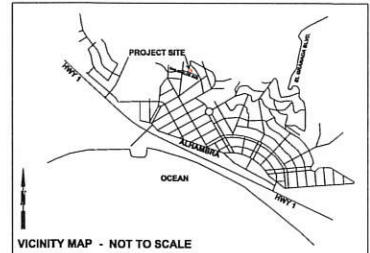
CUT SLOPES SHALL BE NO STEEPER THAN 2:1 (H:V).

**TRAFFIC CONTROL NOTES**

1. CONTRACTOR AND WORKERS SHALL PARK ALONG SAN CARLOS AVENUE.
2. SAN CARLOS AVENUE IS A CALIF. CUL-DE-SAC. ROAD SHALL NOT BE BLOCKED.

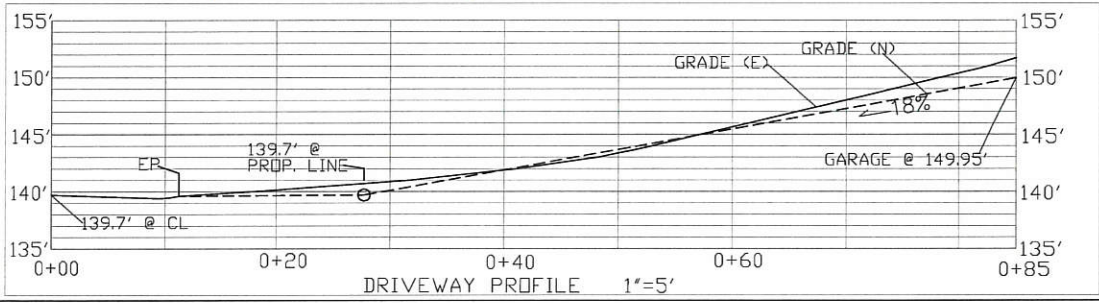
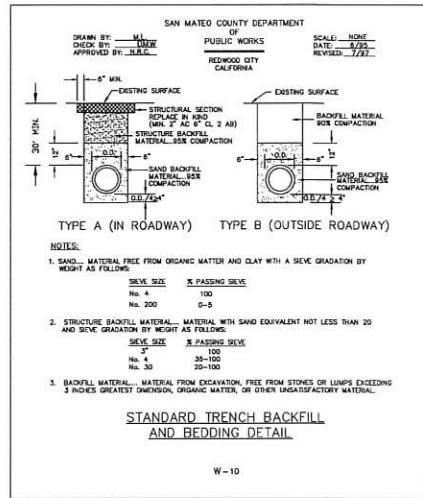
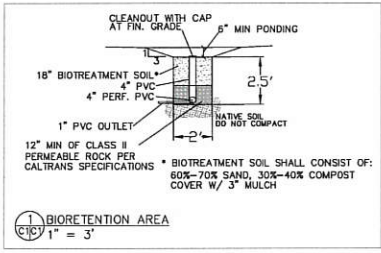
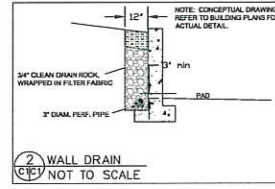
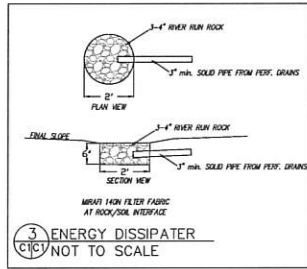
**SEWER NOTES**

THERE IS AN EXISTING SEWER LATERAL THROUGH THE PROPERTY AS SHOWN. IT SHALL BE MOVED TO THE LOCATION SHOWN, WITH A SEWER EASEMENT CREATED.



**CONSTRUCTION SCHEDULE**

- DAY 1: INSTALL FIBER ROLLS
- DAY 2: COMMENCE WORK WITH SITE CLEARING
- DAY 3: INSTALL ROCKED CONSTRUCTION ENTRANCE
- WEEK 1: RE-ROUTE SEWER LATERAL
- WEEK 2: FINISH ROUGH GRADING
- WEEK 3: BEGIN FOUNDATIONS
- WEEK 5: POUR CONCRETE FOR FOOTINGS
- WEEK 8: BEGIN FRAMING
- MONTH 5: FINISH SHELL
- MONTH 7: FINISH PROJECT



DATE: 3-7-17  
 DRAWN BY: CMK  
 CHECKED BY: AZD  
 REV. DATE: 8-13-17  
 REV. DATE: 8-13-17  
 REV. DATE: 8-13-17  
 REV. DATE: 8-13-17

**GRADING AND DRAINAGE PLAN**

SAN CARLOS AVENUE,  
 EL GRANADA  
 APN 047-111-270

SHEET  
 C-1



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

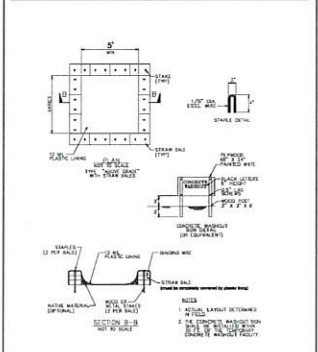
NAME: BIN LI  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 510-399-5220  
 EMAIL: BIN.LI@YAHOO.COM

USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE.

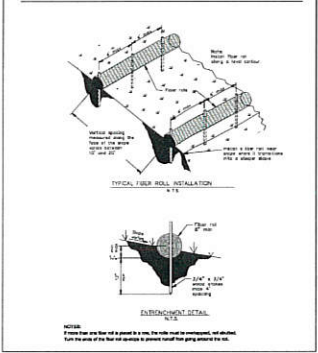
**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFFIX AS SHOWN IN DETAIL SE-5
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site

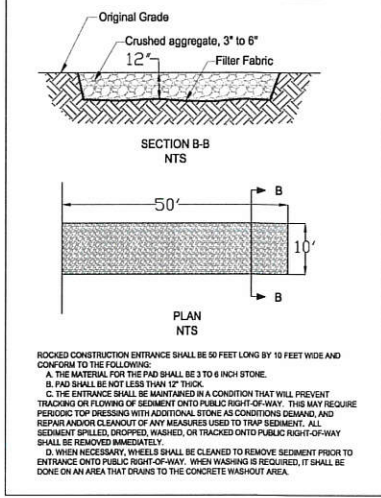
**CONCRETE WASTE MANAGEMENT WM-B**



**FIBER ROLLS SE-5**



**STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1**

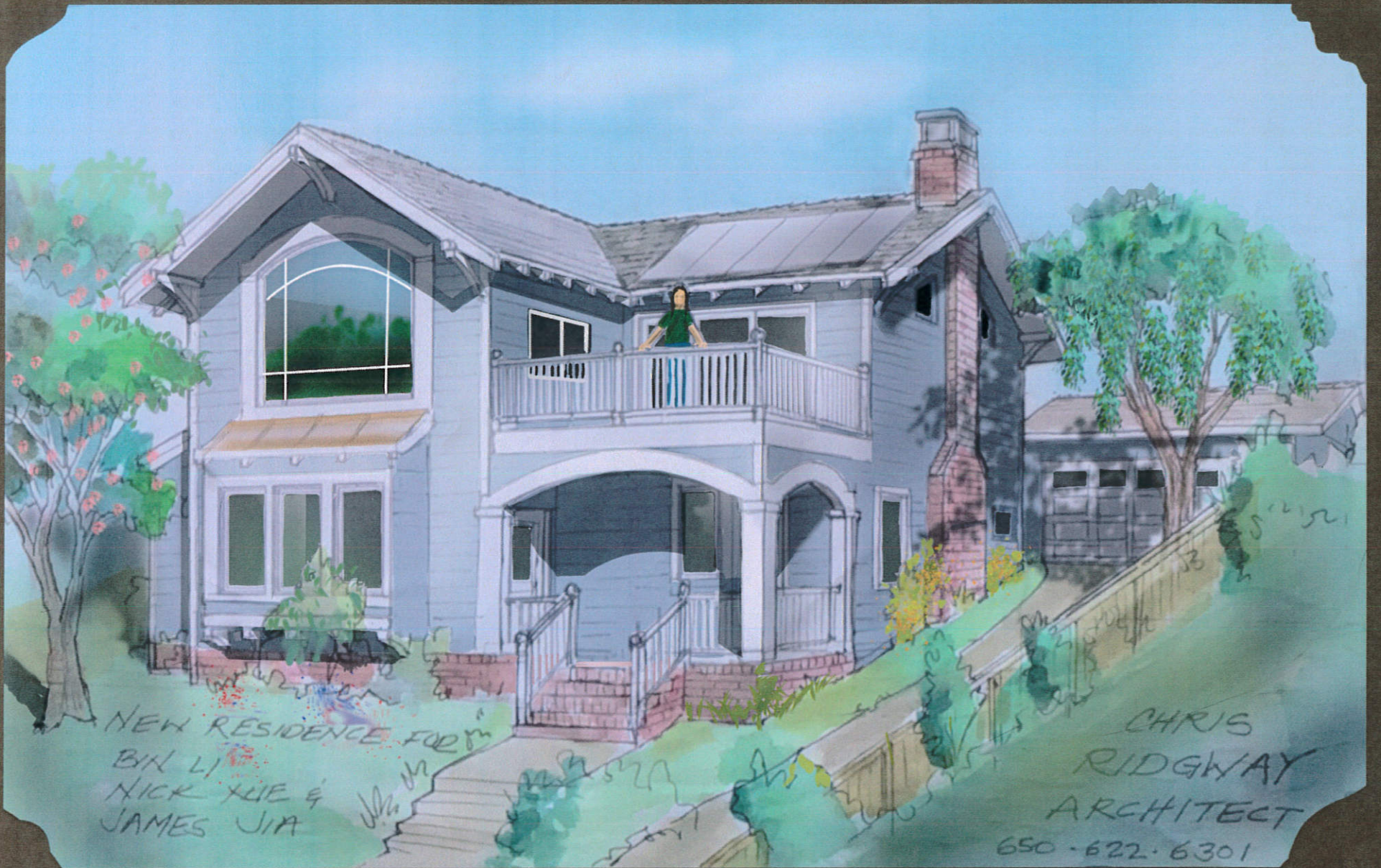


DATE: 3-7-17  
 DRAWN BY: DM  
 CHECKED BY: AD  
 REC. DATE: 8-1-17  
 REC. DATE: 8-1-17  
 REC. DATE: 8-1-17

Sigma Prime Geotechnical, Inc.  
 SIGMA PRIME GEOTECHNICAL, INC.  
 326 FARMINGTON AVENUE  
 EL GRANADA, CA 94619  
 (925) 728-5000  
 FAX: 728-5050

EROSION CONTROL PLAN  
 SAN CARLOS AVENUE,  
 EL GRANADA  
 APN 047-111-270

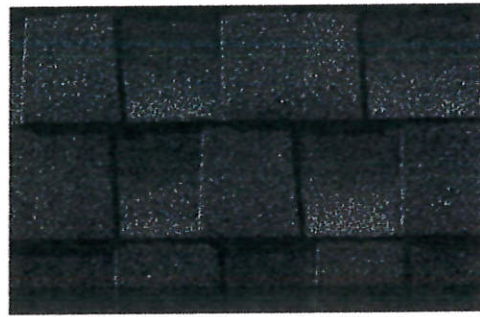
SHEET  
 C-2



NEW RESIDENCE FOR  
BYN LI  
NICK XUE &  
JAMES JIA

CHRIS  
RIDGWAY  
ARCHITECT  
650-622-6301

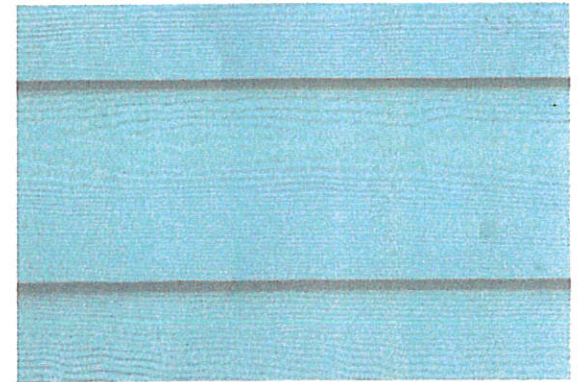
ROOF  
Composition Shingles by GAF  
Timberline in Charcoal



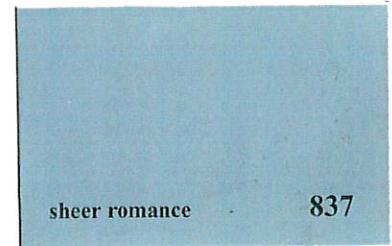
2123-70

ice mist

FACIA, TRIM RAILING & WINDOW  
Benjamin Moore 2123-70 "Ice Mist"



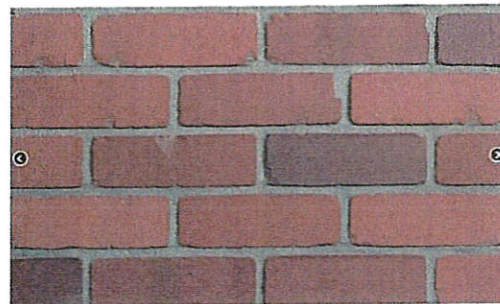
HardiePlank Lap Siding Select  
Cedar Painted Benjamin Moore  
#837 "Sheer Romance"



sheer romance

837

ROOF @ BAY  
Copper or composite shingles to match roof

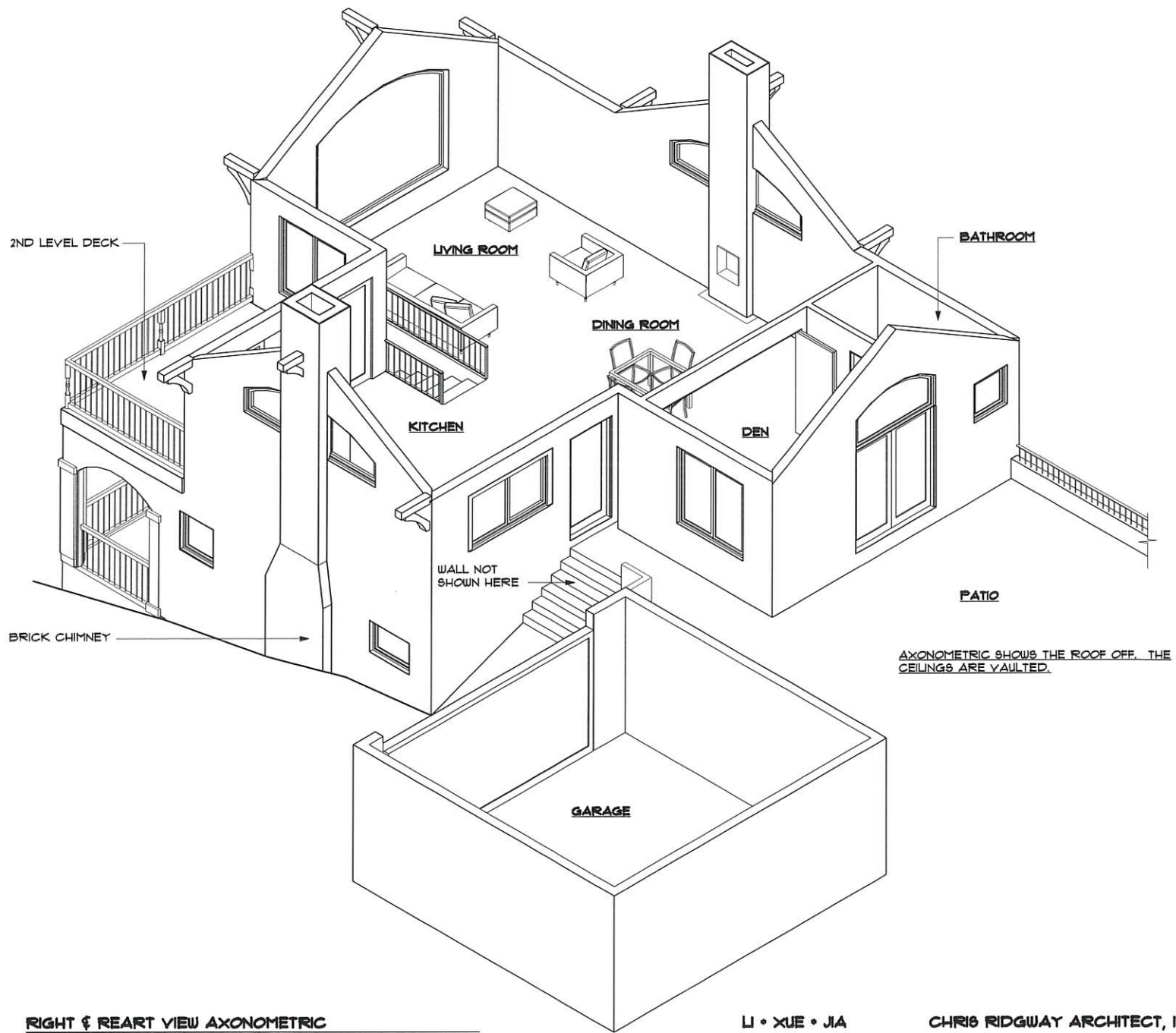


BRICKS  
Manufactured by H. C. Muddox  
Brick veneer on chimney. Use L bricks at corner.  
Full Brick on stairs and wainscot.  
Use "Old Sacramento blend" on both types of brick.

COLOR BOARD  
March 8, 2017

LI, XUE & JIA RESIDENCE

CHRIS RIDGWAY ARCHITECT



RIGHT & REAR VIEW AXONOMETRIC

LI • XUE • JIA

CHRIS RIDGWAY ARCHITECT, INC.