

June 19, 2017

Minoa and Vossugh Massoud
711 Etheldore Street
Moss Beach, CA 94038

Dear Mrs. and Mr. Massoud:

SUBJECT: Coastside Design Review
Nevada at Ellendale Street, Moss Beach
APN 037-135-170; County File No. PLN 2015-00573

At its meeting of June 8, 2017, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for a design review recommendation to allow construction of a new two-story, 2,509 sq. ft. residence with an attached 579 sq. ft. three-car garage on a 5,000 sq. ft. legal parcel (Certificate of Compliance Type B recorded on May 27, 2015) as a part of a hearing-level Coastal Development Permit (CDP). A decision on the CDP will take place on a later date. The CDP is appealable to the California Coastal Commission. The project would not remove any trees and involves only minor grading.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the Zoning Regulations and "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

From the Zoning Regulations:

- a. *Section 6300.2. Regulations for "S-17" Combining District (Mid-Coast); 5. Building Floor Area; a. Parcel Size.* The applicant must reduce the floor area ratio (FAR) to a maximum of 2,650 sq. ft. to not exceed the maximum FAR of 53%.

From the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" Manual:

- b. *Section 6565.20(C). Site Planning and Structure Placement; 1. Integrate Structures with the Natural Setting; a. Trees and Vegetation. Standards (2) and (3).* Planned structure is within close proximity of existing trees. Ensure any necessary trimming for fire safety maintains the structural integrity and safety while ensuring structural integrity of tree and roots. Retain heritage and significant trees with priority placed on retaining healthy trees of native species. Replacement shall be in accordance with Section 6565.21, Standards for the Protection of Trees and Vegetation.



- c. *Section 6565.20(D). Elements of Design; 2. Architectural Styles and Features; b. Openings, Section 6565.20(D). Elements of Design; 4. Exterior Colors and Materials; Standard (d); and Section 6565.20(F). Landscaping, Paved Area, Fences, Lighting and Noise; 4. Lighting.* Plans (as opposed to renderings) shall reflect consistent articulation and style of entry canopy, all exterior dark sky lighting placement, and all entry door, garage door and window materials.
- d. *Section 6565.20(D). Elements of Design; 2. Architectural Styles and Features; c. Entries.* Curve sidewalk from entry toward street in keeping with the style of the entry steps.
- e. *Section 6565.20(F). Landscaping, Paved Area, Fences, Lighting and Noise; 1. Paved Areas; Standards (a),(b),(c), and (d).* Minimize hardscape to maximize permeable surfaces. Choose surfaces that have a more natural appearance than concrete. Driveway and walkway areas should be minimized to the extent feasible and drain into adjacent landscaped areas.
- f. *Section 6565.20(F). Landscaping, Paved Area, Fences, Lighting and Noise; 4. Landscaping.* Replace trailing iceplant with a non-invasive species. Consider drought tolerant alternatives to Hydrangea. Please refer to www.plantright.org or www.cal-ipc.org/paf.
- g. *Section 6565.20(D). Elements of Design; 4. Exterior Colors and Materials; Standards (c)(2) and (c)(3).* Use three or more exterior colors to emphasize architectural features and trim and to reduce appearance of bulk. Replace the Evening Blue color on either the Hardie Shingle or Hardie Plank wall section to a complementing color to further break up the mass/bulk of house and further articulate architectural features.
- h. *Section 6565.20(D). Elements of Design; 4. Exterior Colors and Materials; Standards (c2) and (d).* Tie front entry and canopy trim to railings/garage and/or window trim to increase articulation.

Other Recommendations Discussed Include:

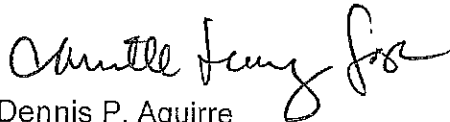
- a. Applicant must retain certified arborist to evaluate and report to Planning whether it is feasible to locate the foundation of the structure within the drip line of existing trees, specifically on the southwest corner of the parcel.
- b. Reduce crawl space from 36" to 18" maximum.
- c. Provide additional detail with photos for the waterfall feature. If the waterfall exceeds 18" in height and 1' in width, the waterfall is considered a structure and setbacks for detached structures apply.
- d. Square the southeast corner of the structure at the living room and loft. The roof line should continue and match the hip roof.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Camille Leung, Senior Planner, at 650/363-1826, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

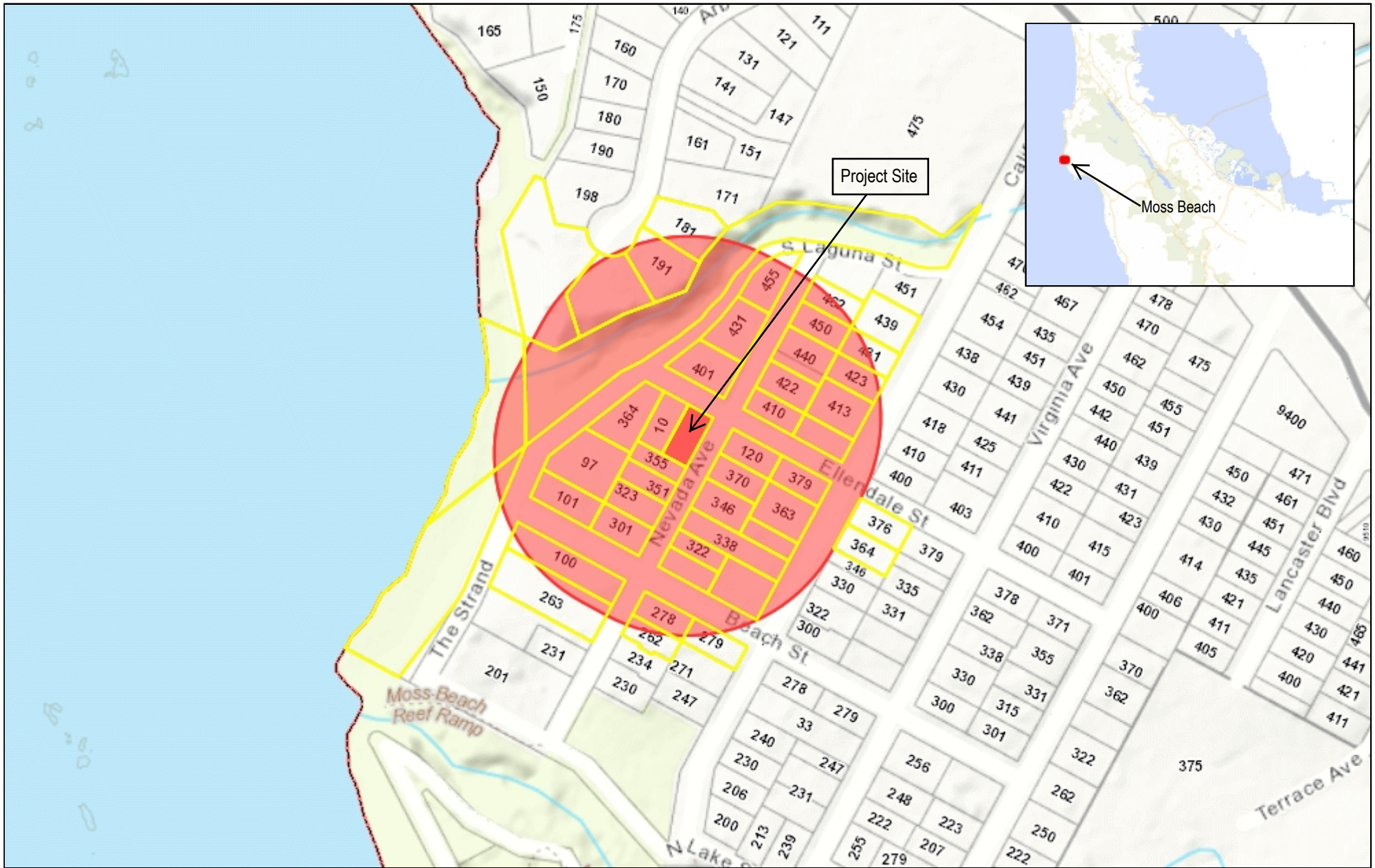
Sincerely,



Dennis P. Aguirre
Design Review Officer

DPA:CML:pac - DPABB0326_WPN.DOCX


cc: Stuart Grunow, Member Architect
Melanie Hohnbaum, Moss Beach Community Representative
Peggy Smith, Interested Member of the Public
Maureen McEvoy, Interested Member of the Public



0.11 0 0.06 0.11 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:3,561



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Applicable Codes and Regulations

ANY VARIATION FROM THE SPECIFIED DESIGN, FINISH PRODUCTS OR EXTERIOR ELEVATION STYLE IS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.

ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF D&Z DESIGN ASSOCIATES PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL WORK TO BE IN CONFORMANCE WITH 2014 CBC, CRC, CFC, CMC, CPC, CEC AND 2014 CALIFORNIA ENERGY CODE AND 2014 CALIFORNIA GREEN BUILDING STANDARDS THE UNIFORM CODE FOR BUILDING CONSERVATION. THESE CODES, AS WELL AS THE STATE AND LOCAL AMENDMENT TO THEM.

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

SLOPE ALL FINISH GRADES A MIN. OF 4 %FOR 5'-0" "AWAY" FROM STRUCTURE FOR POSITIVE DRAINAGE @ LANDSCAPED AREAS & SLOPE GRADE 2 %MIN. @ PAVED AREAS.

THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, AND THE ORIGINAL OCCUPANTS A LIST OF THE ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, AND COMPONENTS INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY, SUCH FEATURES INCLUDE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHERSTRIPPING WINDOW SHADES, AND THERMAL MASS MATERIALS. THE INSTRUCTIONS SHALL BE CONSISTENT WITH SPECIFICATIONS SET FORTH BY THE EXECUTIVE DIRECTOR.

ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.B.C TITLE 24 RESIDENTIAL ENERGY STANDARDS.

SEE SHEET T24 FOR ADDITIONAL ENERGY COMPLIANCE NOTES.

Property Information

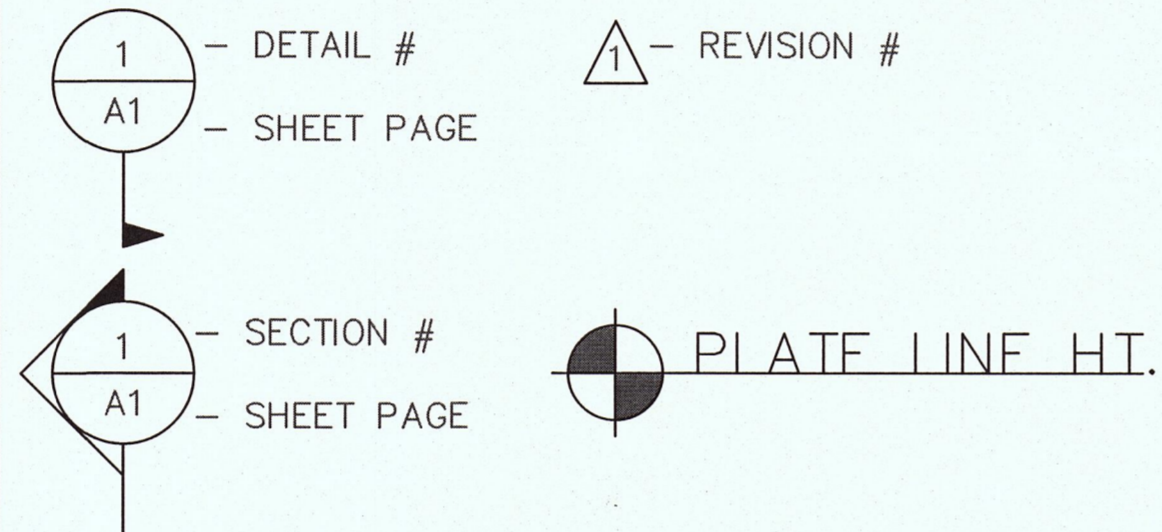
(Corner of Nevada Ave. & Ellendale St.)
Moss Beach, CA

Principal Uses - Single Family, Two Story Home
Lot Size - 5,000 Square Feet
Lot Width - 50' x 100' Feet
Zone: S-17

Scope of Work

Create a new Single Family, Two Story Home

Symbols



Drawing Index

T1 - TITLE SHEET

DESIGN

- A1 - SITE PLAN
- A2.1 - PROPOSED FLOOR PLAN - FIRST FLOOR
- A.2.2 - PROPOSED FLOOR PLAN - SECOND FLOOR
- A3.1 - EXTERIOR ELEVATION - EAST & WEST
- A3.2 - EXTERIOR ELEVATION - NORTH & SOUTH
- A4 - CROSS SECTION
- A7 - ROOF PLAN
- A8 - LANDSCAPING PLAN
- A9 - UTILITY SERVICE PLAN

STRUCTURAL

- S1.1 SStructure General Notes & Details
- S1.2 SStructure Details
- S1.3 SStructure Details
- S2.1 Foundation Plan
- S3.1 1st Roof & 2nd Floor Framing Plan
- S4.1 Section

ELECTRICAL

- A6.1 - ELECTRICAL PLAN - FIRST FLOOR
- A6.2 - ELECTRICAL PLAN - SECOND FLOOR

TITLE 24

- T24 Energy Compliance

SURVAUOR

- 1-4 Corners
- 2. Topography

Applicable Codes and Regulations

- A. 2013 California Green Standard Code - Ord. 16-2013
- B. 2013 California Residential Code - Ord. 16-2013
- C. 2013 California Electrical Code - Ord. 16-2013
- D. 2013 California Mechanical Code - Ord. 16-2013
- E. 2013 California Plumbing Code - Ord. 16-2013
- F. 2008 Building Energy Efficiency Standards
- G. 2013 California Fire Code - Ord. 17-2013
- H. 2013 California Building Code - Ord. 16-2013
- I. 2013 Existing Building Code - Ord. 16-2013
- J. All other state and local ordinance and regulations

Project Data

OWNER / Builder

Massoud Vossugh
711 Etheldore Street
Moss Beach CA. 94038
Email: mvossugh@gmail.com
Cellular (773)575-2725
Home (650)563-9006

LOT DATA

APN: 037-135-170
Zoning: S-17
Lot Size: 5,000 sqft

Occupancy:
Type of Constuction: VB

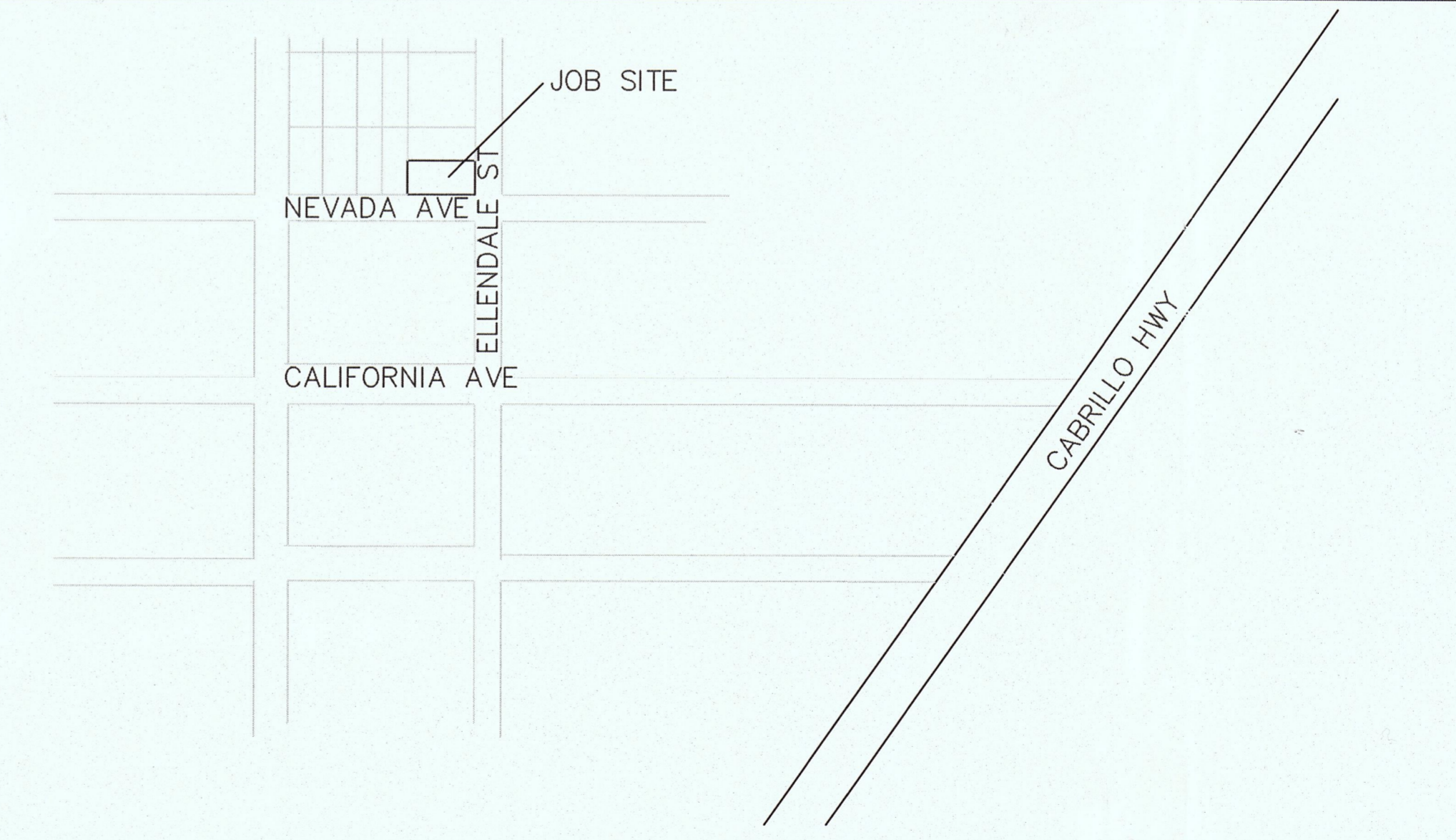
Building

Living Sqft - 2488 Square Feet (%50)
First floor - 1480.3 Square Feet
second floor - 1007.7 Square Feet

Abbreviations

A.B. ANCHOR BOLT	FRDR FRENCH DOOR	PL PLATE	WI WITH	CONT. CONTINUOUS	J.B. JUNCTION BOX	SHWR SHOWER
A.C. ASPHALTIC CONCRETE	FT FOOT. or FEET	P/L PROPERTY WAINS		CSMT. CASEMENT	JST JOIST	SIM SIMILAR
WAINSCOT				C.W. COLD WATER		SLD SUDER
A/C AIR CONDITIONING	FTG FOOTING	PLAS. PLASTER	WC	KIT KITCHEN	KP KICKER FOST	SLD GL DR SLIDING GLASS DOOR
WATERCLOSET				DBL DOUBLE	KS KING STUD	SPECS SPECIFICATIONS
AUJM. ALUMINUM		PLY PLYWOOD	WD WOOD	DET DETAIL		SQ SQUARE
APPROX. APPROXIMATE	GA GAUGE	PNL PANEL	WDW WINDOW	DF DOUGLAS FIR		SQ. FT. SQUARE FEET
ARCH. ARCHITECTURAL	GALV GALVANIZE(D)	P&S POLE & SHELF	WO	DIM DIMENSION		STD STANDARD
WI-OUT				D.S. DOWNSPOUT		STL STBEL
ANOD. ANODIZED	G.I. GALVANIZED IRON	PT POINT	WP	DRY DRYER		STOR STORAGE
WATERPROOF				DW DISHWASHER		STRUCT STRUCTURAL
ASPH. ASPHALT	GFIC GROUND FAULT INTERRUPTER	PR PAIR	WWF	DWG DRAWING		SS STAINLESS STEEL
WELDED WIRE						SYM SYMMETRICAL
	GL GLASS		FABRIC	EA EACH	M.B. MACHINE BOLT	
BD BOARD	GRO GROUND. or GRADE	R.A. RETURN AIR		ELEC ELECTRICAL	MDF MEDIUM DENSITY FIBERBOARD	
BWG. BUILDING	GYP. BD. GYPSUM BOARD	RAD RADIUS		ELEV ELEVATION	MECH. MECHANICAL	TB TOWEL BAR
BLKG. BLOCKING		RD ROUND		ENCL. ENCLOSURE	M.C. MEDICINE CABINET	TEL TELEPHONE
BM BEAM	H.C. HOLLOW CORE	REC RECESSED		EQ EQUAL	MFR MANUFACTURER	TEMP TEMPERED
BOTT. BOTTOM	H.D. HOLD DOWN	REF REFRIGERATOR		EXH EXHAUST	MIN MINIMUM	THRESH THRESHOLD
	HDR HEADER	REINF REINFORCED/ING		EXP EXPANSION	MISC MISCEJIANEOUS	T&G TONGUE AND GROOVE
CAB. CABINET	HDWD HARDWOOD	RES RESILIENT		EXIST.or (E) EXISTING	MTD MOUNTED	T.O.F. TOP OF FOOTING
CEM CEMENT	HORIZ HORIZONTAL	RM ROOM		EXT EXTERIOR		T.O. TOP OF
C.T. CERAMIC TILE	HR HOUR	R.O. ROUGH OPENING			(N) NEW	T.O.P. TOP OF PLATE
C.I. CAST IRON	H.B. HOSE BIBB	REQ REQUIRED			N.I.C. NOT IN CONTRACT	T.O.S. TOP OF SLAB
CLO. CLOSET	HT HEIGHT	R/W RIGHT OFWAY			NO. or# NUMBER	T.O.W. TOP OF WALL
CLR CLEAR	HC HANDICAP	RWD REDWOOD			N.T.S. NOT TO SCALE	TP TOILET PAPER
CLG CEILING	HVAC HEATING VENTILATION AND	R.W.L. RAIN WATER LEADER				TYP TYPICAL
C.M.U. CONCRETE	AIR CONDITIONING				O/ OVER	
MASONRY UNIT					O.C. ON CENTER	U.N.O. UNLESS NOTED OTHERWISE
C.O. CLEANOUT	HW HOT WATER				O.F.S. OUTSIDE FACE OF STUD	U.O.N. UNLESS OTHERWISE
COL. COLUMN		SCHED SCHEDULE				
COMP. COMPOSITION	I.D. INSIDE DIAMETER	S.C. SOLID CORE				
CONC. CONCRETE	INSUL INSULATION	S.F. SQUARE FEET				
CONN. CONNECTION INT INTERIOR		SH SINGLE HUNG				
CONST. CONSTRUCTION		SHT SHEET				

VICINITY MAP



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PLN2015-00573

No. / Date / Revision
7/26 /2014 Created
8/22 /2014 Revised
8/25 /2014 Revised
9/20/2014 Revised
7/18/2015 Revised

Drawing Title	Title Sheet	
	Drawn by	JM & B. Vatani
Scale	None	

Project Name	Vossugh Residence
Owner	Massoud Vossugh
Project Address	Nevada Ave & Ellendale Rd Moss Beach, CA APN - 037-135-170

Date	9/20/2014
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T1

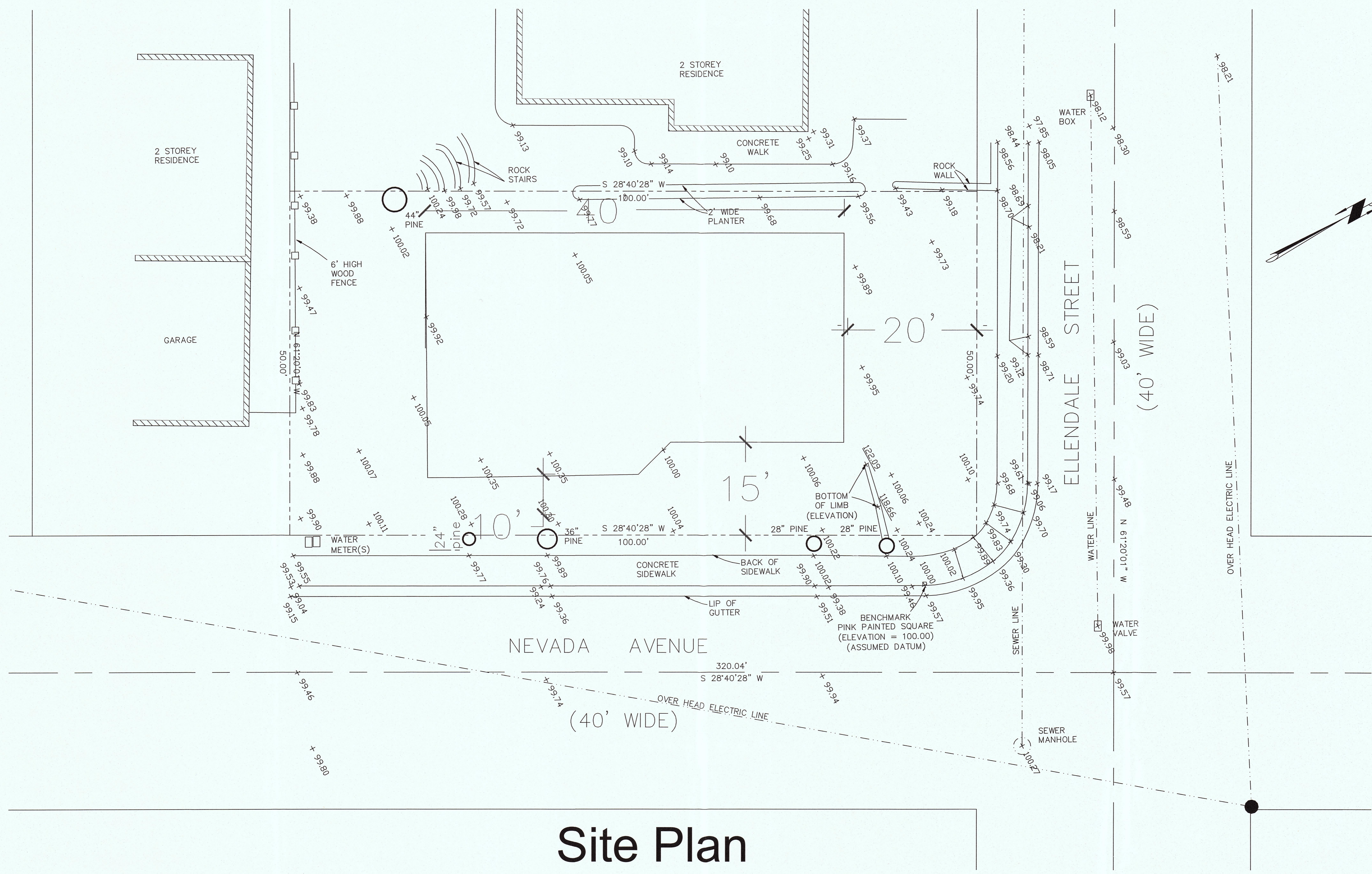
No. / Date / Revision
7/24 /2014 Created
11/1/2017 Revised

Drawing Title	
Proposed Site Plan	
Scale	1/4" = 1' - 0"
Drawn by	JM & B. Vatani

Project Name	Vossugh Residence
Owner	Massoud Vossugh
Project Address	Nevada Ave & Ellendale Rd Moss Beach, CA APN - 037-135-170

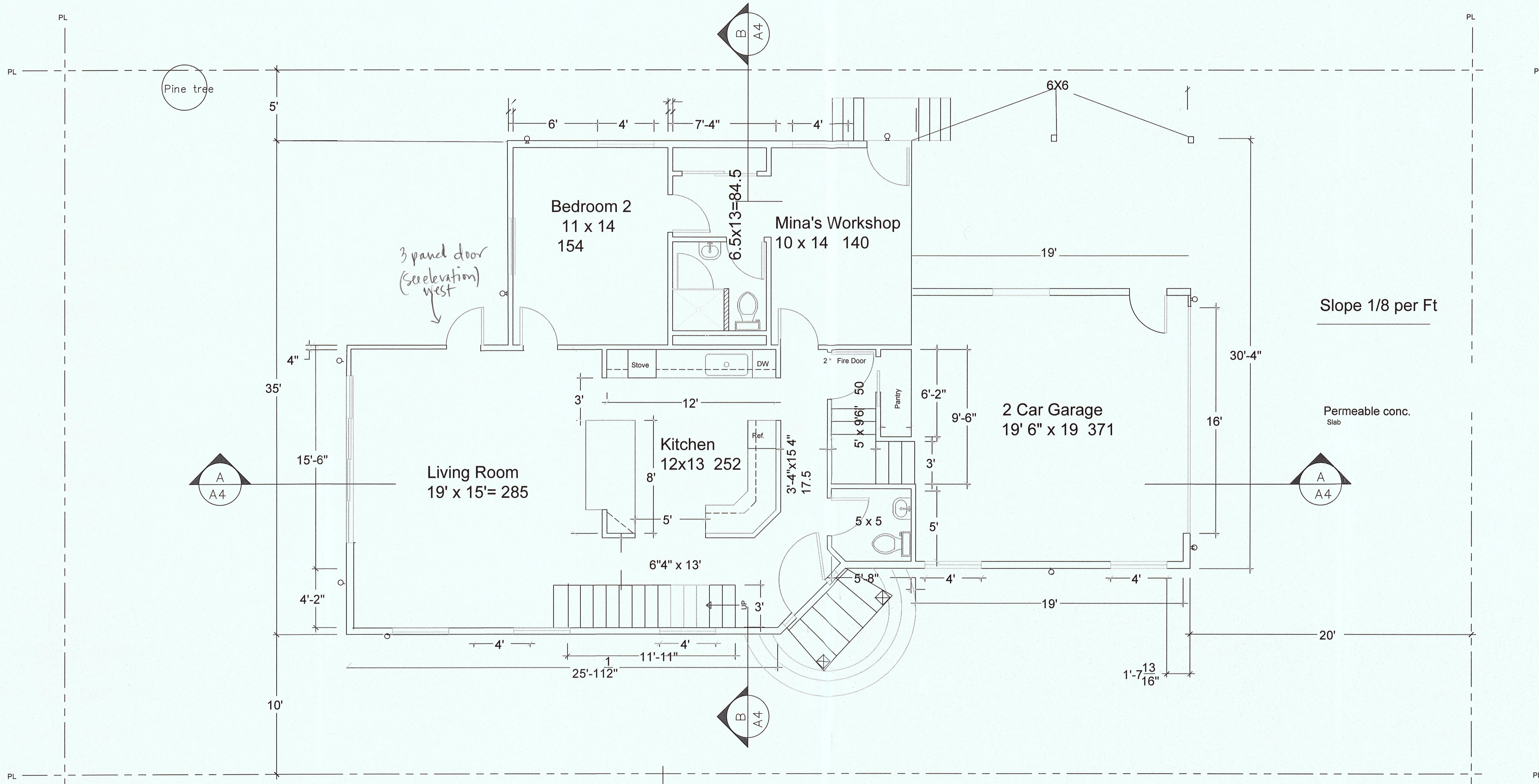
Date 9/20/2014

A1

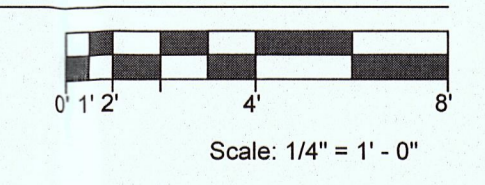


Site Plan

No. / Date / Revision
7/26 /2014 Created
11/25 /2017 Revised



Proposal Plan -First Floor
1497.7 sq'

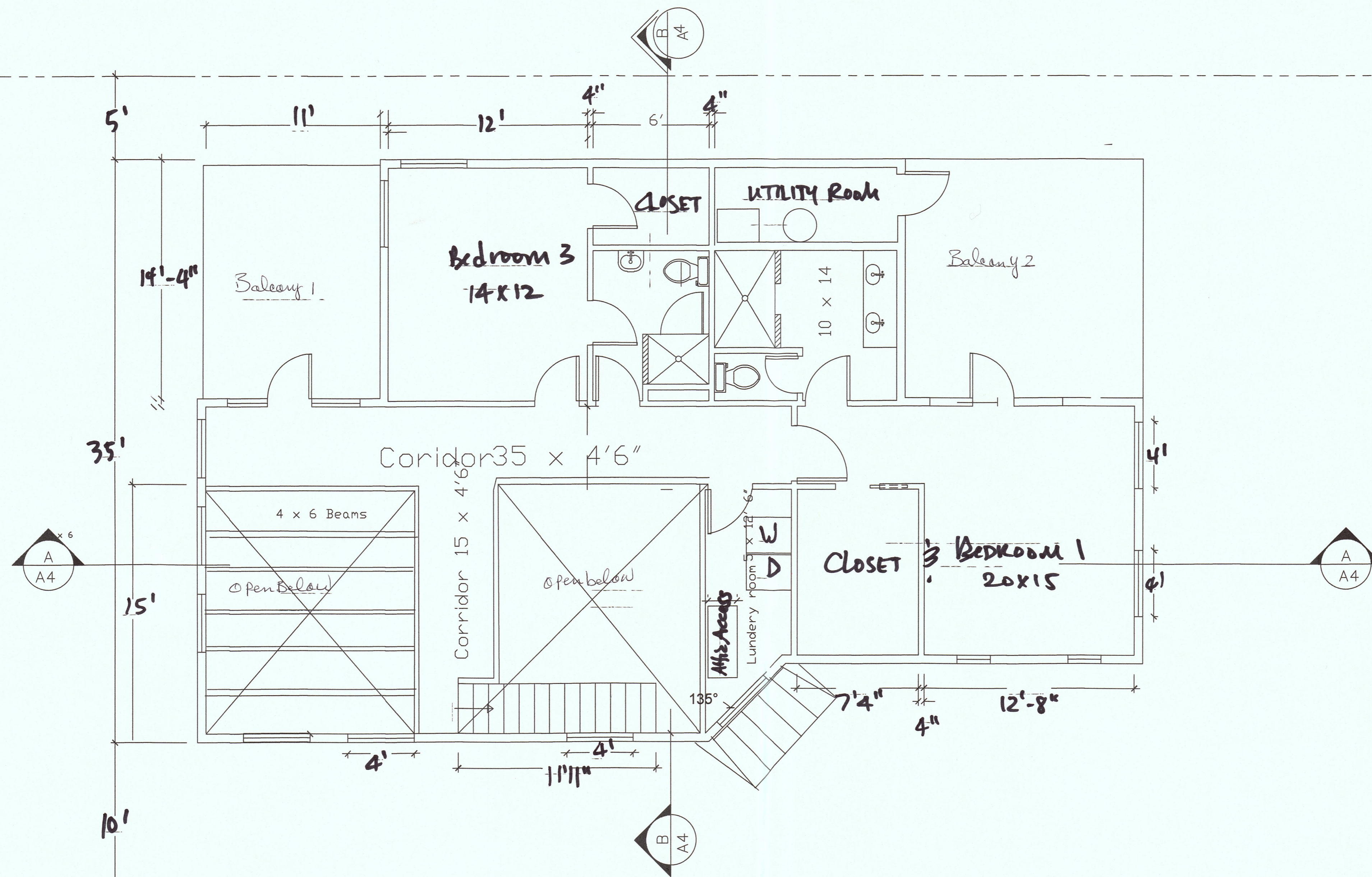


Drawing Title	Proposed Plan - First Floor
	Scale 1/4" = 1' - 0"
Drawn by	JM & B. Vayani

Project Name	Vossugh Residence
Owner	Massoud Vossugh
Project Address	Nevada Ave & Ellendale Rd Moss Beach, CA APN - 037-135-170

Date 9/20/2014

A2.1



Proposed Plan - 2nd Floor
 1066.5 sq. ft.



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2nd Floor Plan

SCALE: 1/4" = 1'-0"

No. / Date / Revision
Created 7/26 /2014
Revised 11/01 /2017

Project Name
Vossugh Residence

Owner
Massoud Vossugh

Project Address
Nevada Ave & Ellendale Rd
Moss Beach, CA
APN - 037-135-170

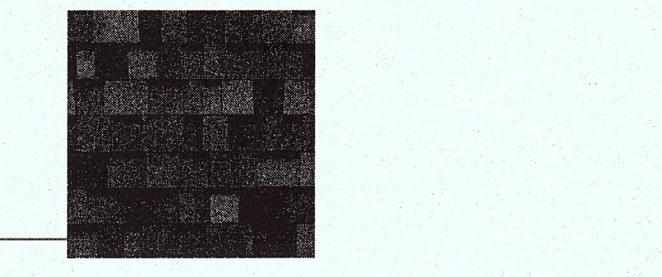
Drawing Title
Exterior Elevation - East & West

Drawn by
JM & B. Vatani

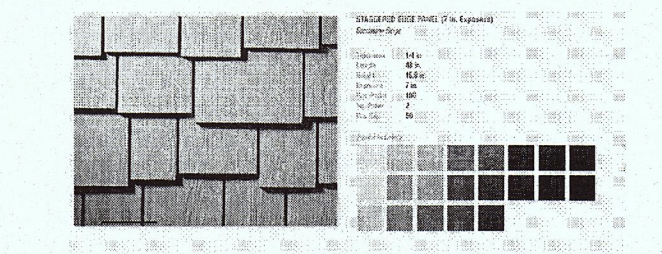
Date
9/20/2014

Scale
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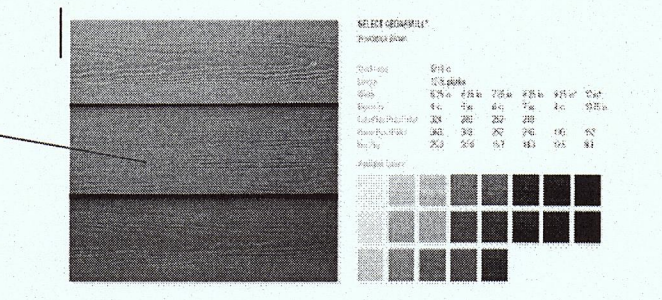
Materials & colors



Gray/Black Laminate SHINGLE
Okridge AR State



Second Floor siding
Hardies Staggered Edge
Pane
BEHR Blue Stain M540-51

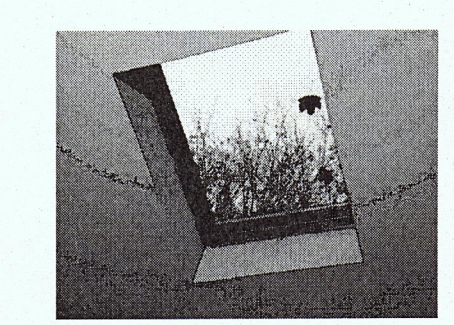


HardiesSelect Cedarmil planks
All First floors & West 2nd floors
BEHR National Anthem M520-6

1/4" COATED STAINLESS
STEEL CABLE

4 X 4 Wood POST

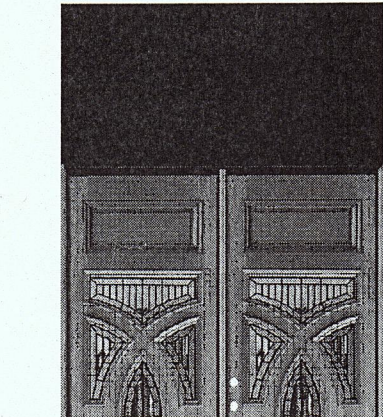
6" x 6" grooved
Casement winnows & doors 52-85 %
energy saver, triple pane glass
wood inside vinyl outside



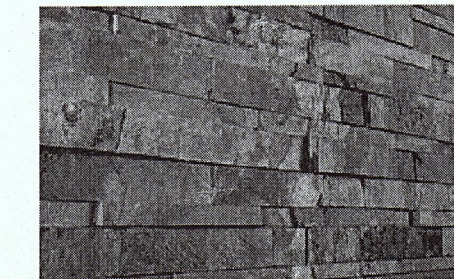
Fixed Sky light Wood inside
Vinyl



Typical Brass dooring
Blue Verde Patina # 11



Typical Solid Wood & Glass



Slate stone
siding



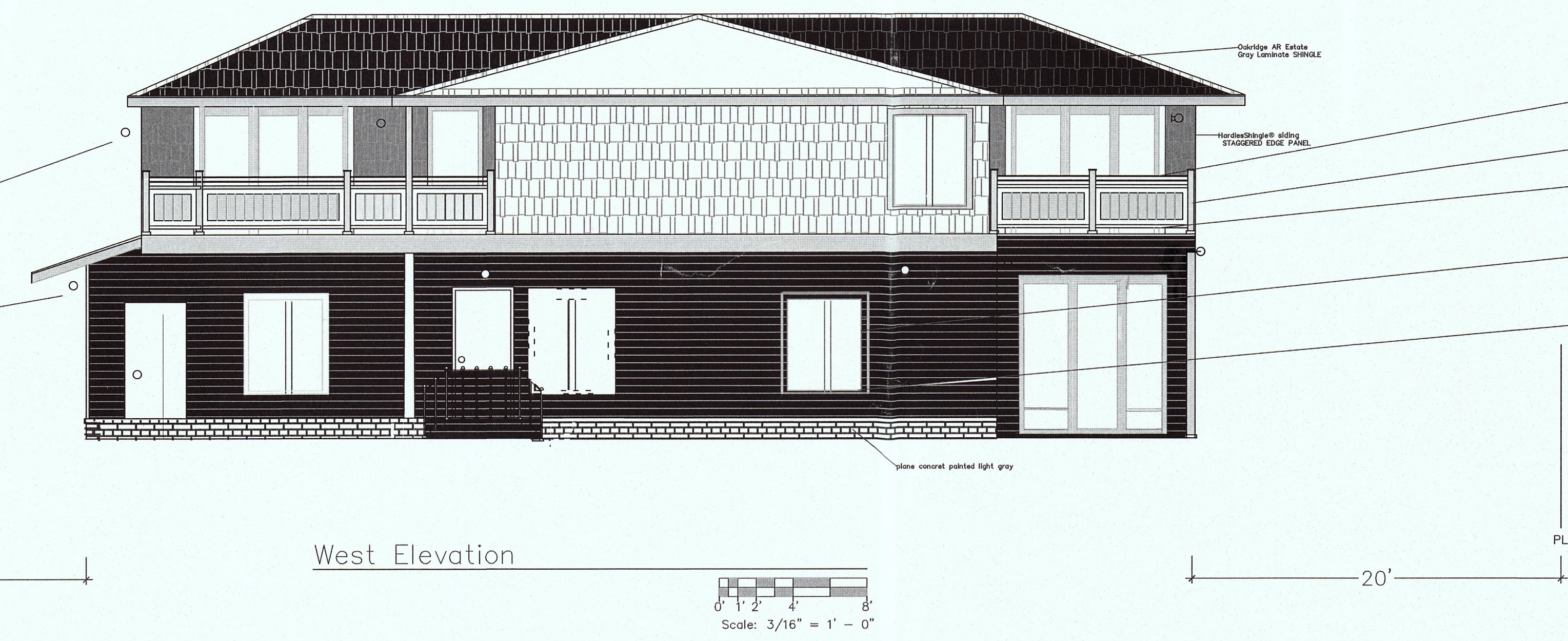
Outdoor 6W IP65
waterproof LED

- ROOF LINE 24'
- SECOND FLOOR CEILING, 8'-0" ABV.
SECOND LEVEL FINISH FLOOR
- SECOND LEVEL FINISH FLOOR,
10'-0" ABV MAIN LVL FINISH FLOOR
- MAIN LVL CEILING 9'-0" ABV. FINISH FLOOR
- MAIN LEVEL FINISH FLOOR
- Crawl Base height -18"



East Elevation

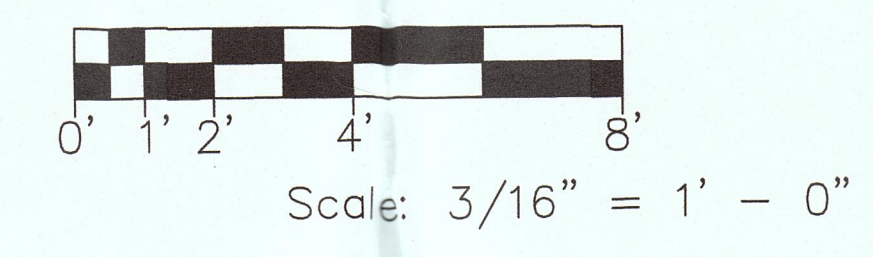
- ROOF LINE
- SECOND FLOOR CEILING, 8'-0" ABV.
SECOND LEVEL FINISH FLOOR
- SECOND LEVEL FINISH FLOOR,
13'-0" ABV GARAGE FINISH SLAB
GARAGE CEILING 10'-6" ABV. FINISH SLAB
- GARAGE FINISH SLAB



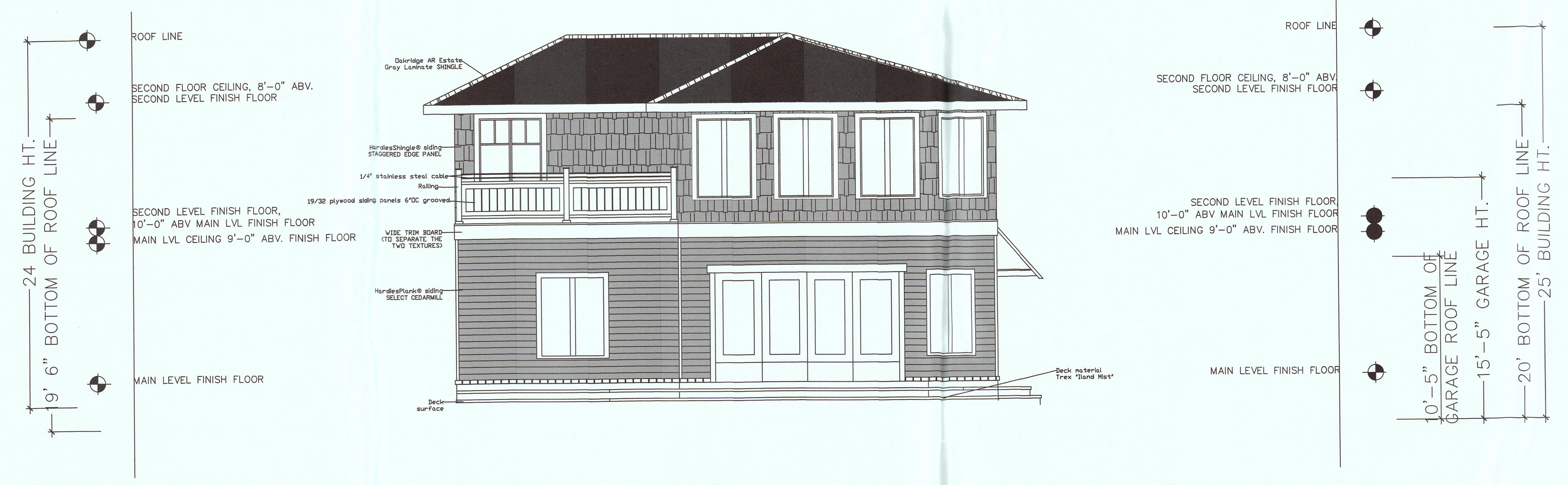
West Elevation



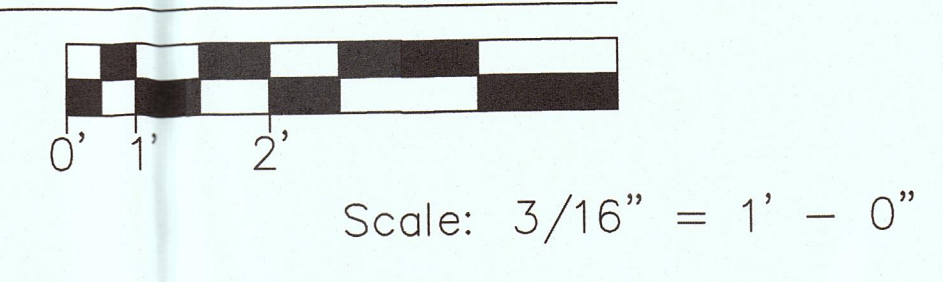
North Elevation



2" thick extruded aluminum
North west 2000 series



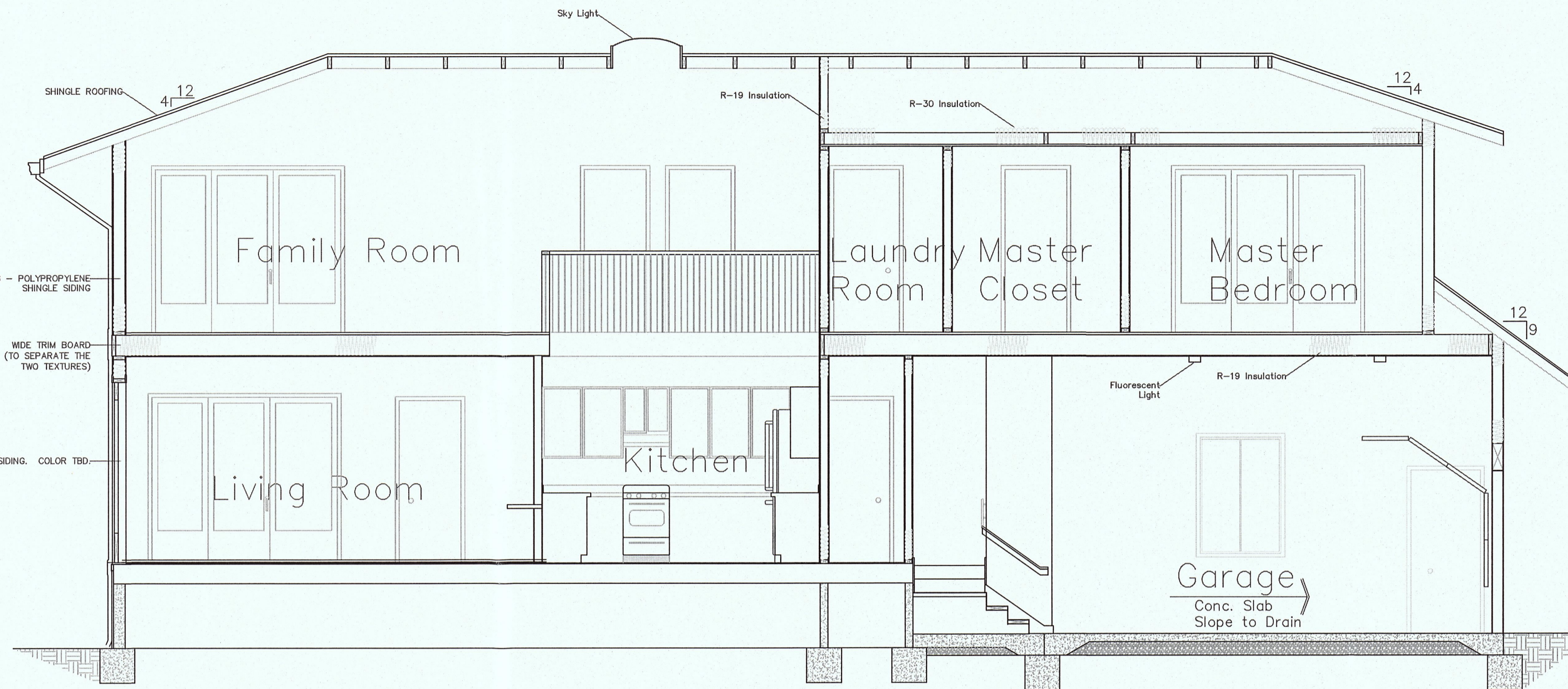
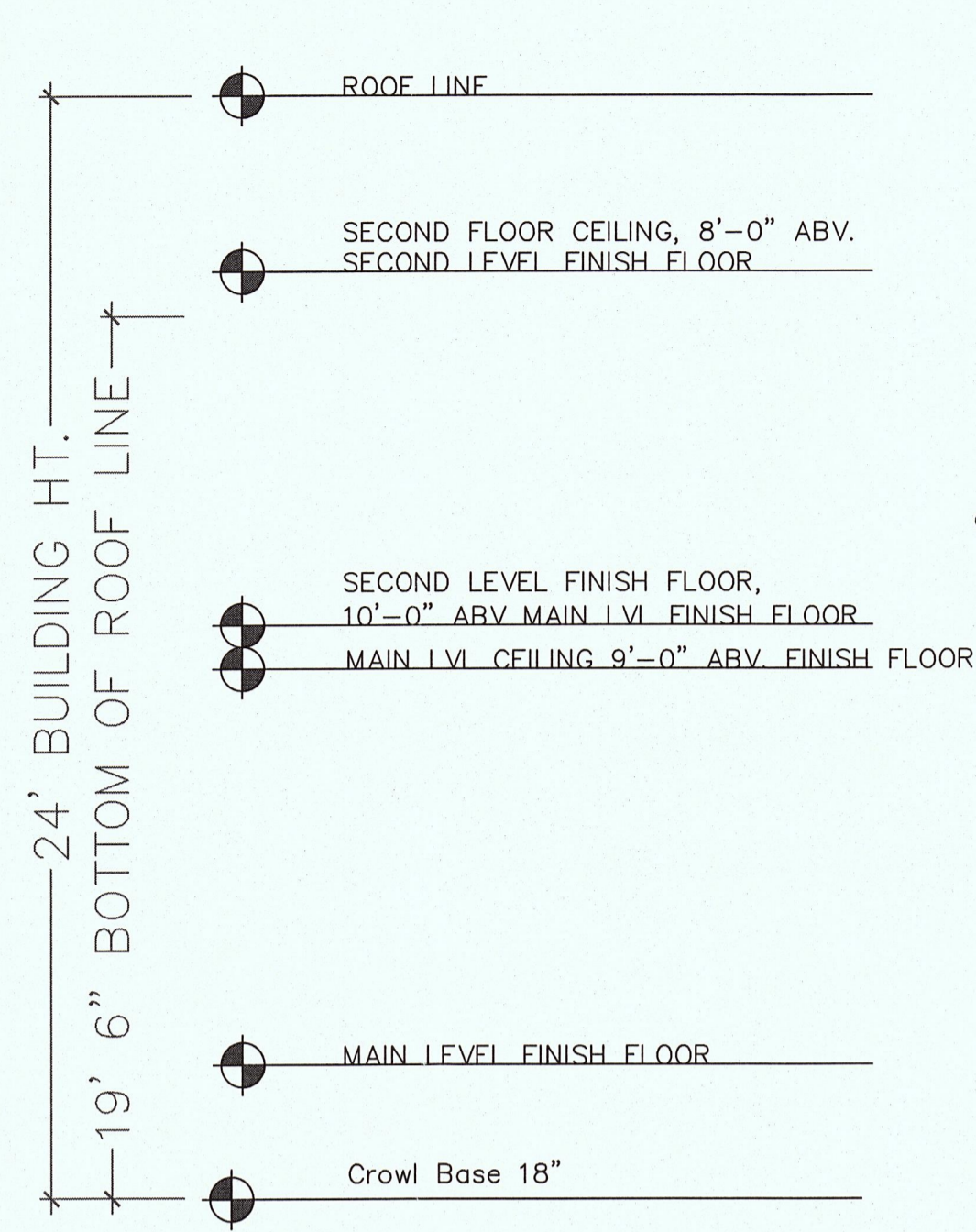
South Elevation



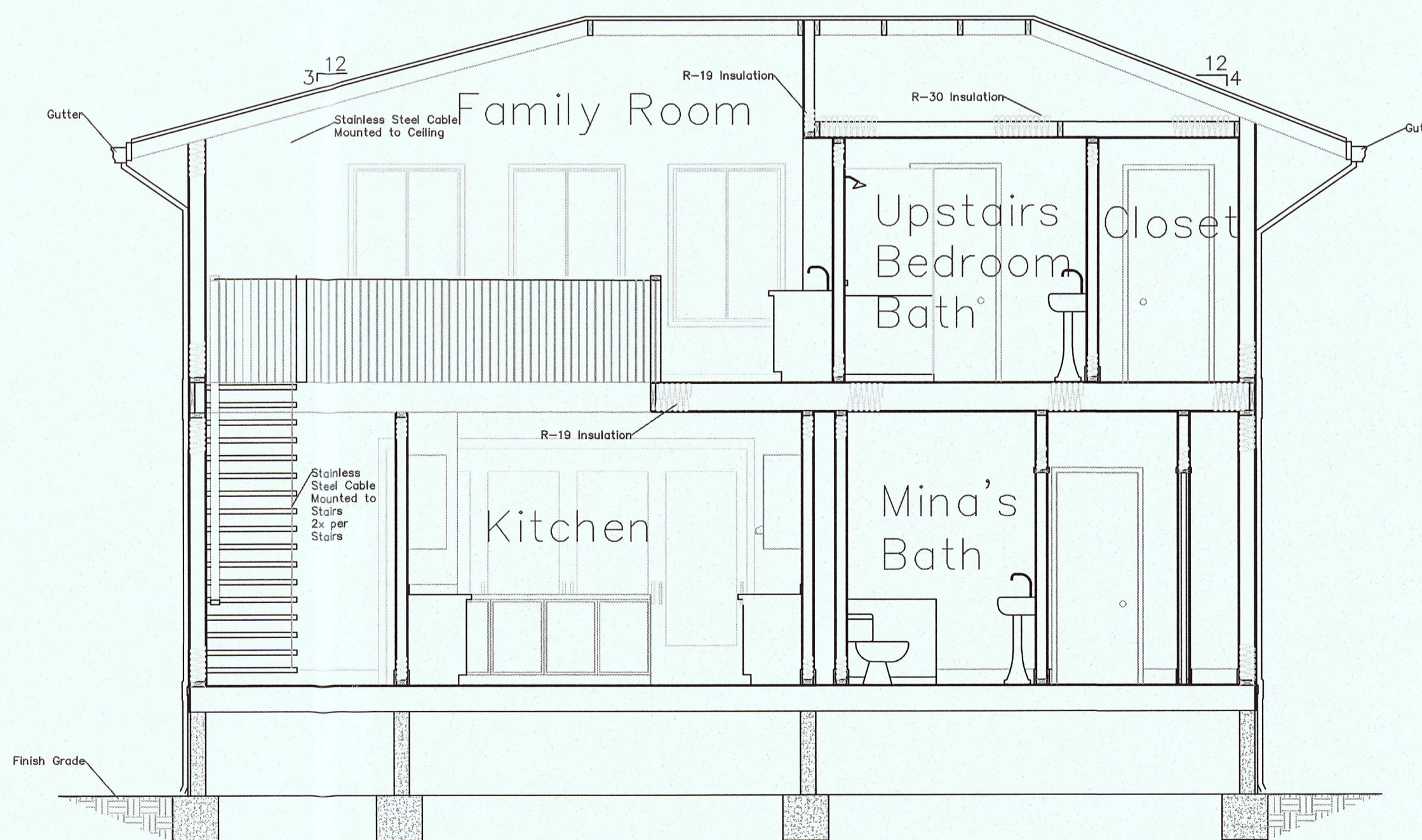
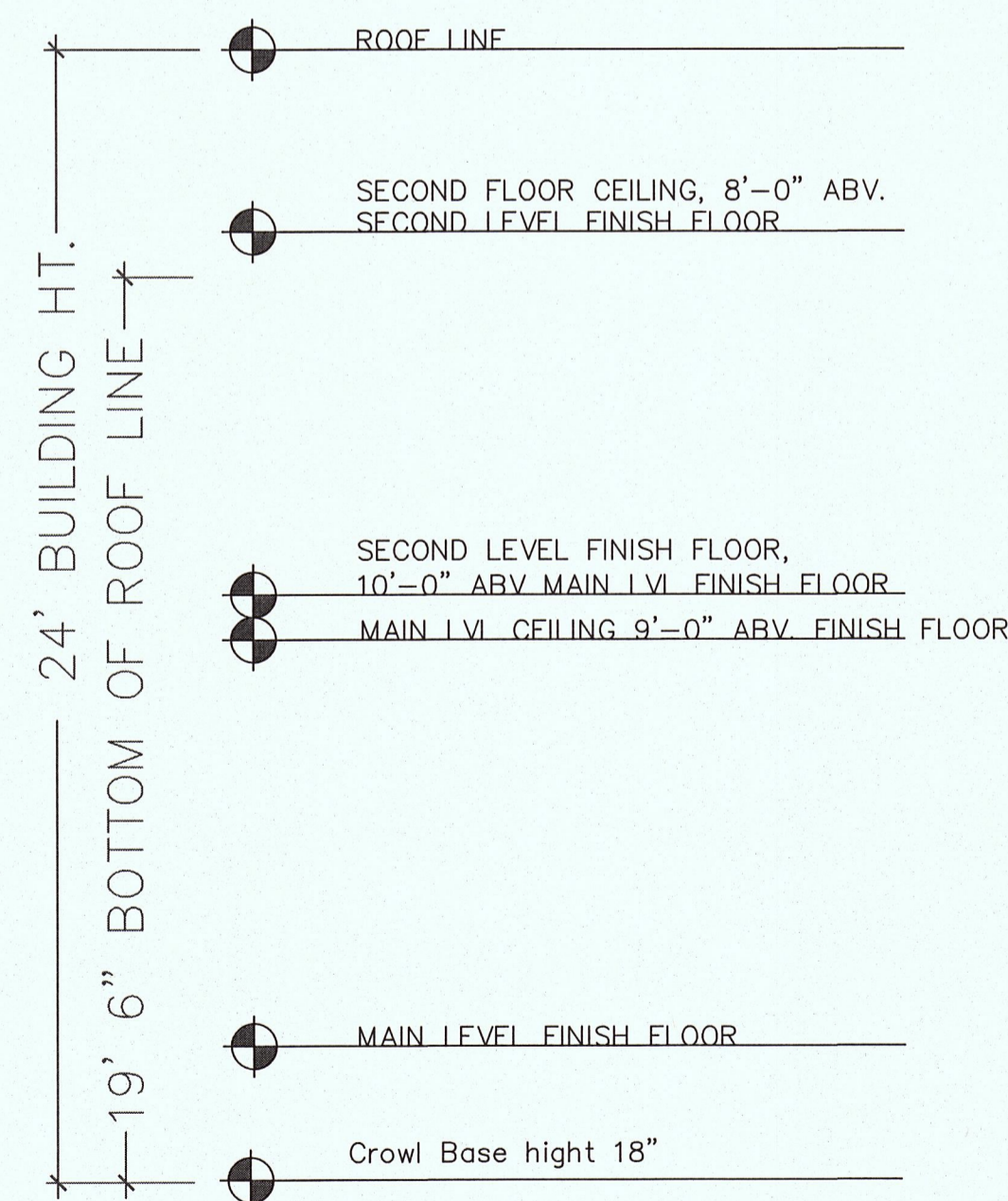
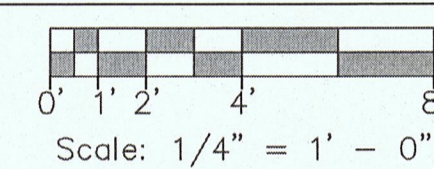
Elevation Plan

SCALE: 1/4" = 1'-0"

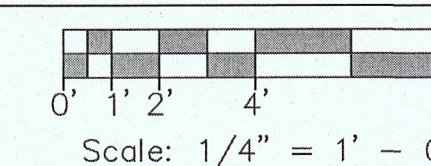
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A Cross Section



B Cross Section



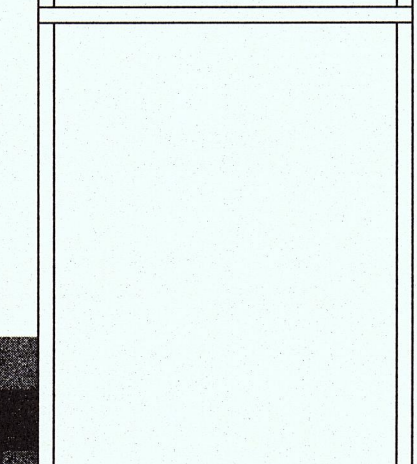
No. / Date / Revision
△ 8/22 /2014 Created
△ 11/26/2017 Revised

Drawing Title	Cross Section
Project Name	Vossugh Residence
Owner	Massoud Vossugh
Project Address	Nevada Ave & Ellendale Rd Moss Beach, CA APN - 037-135-170
Date	9/20/2014
Scale	1/4" = 1' - 0"
Drawn by	JM & B. Vatani

Project Name	Vossugh Residence
Owner	Massoud Vossugh
Project Address	Nevada Ave & Ellendale Rd Moss Beach, CA APN - 037-135-170
Date	9/20/2014
Scale	1/4" = 1' - 0"
Drawn by	JM & B. Vatani

A4

No. / Date / Revision
△ 8/22 /2014 Created
△ 11/25/2017 Revised



Oak
Gray La

JM & B. Vatani

Proposed Plan -Roof

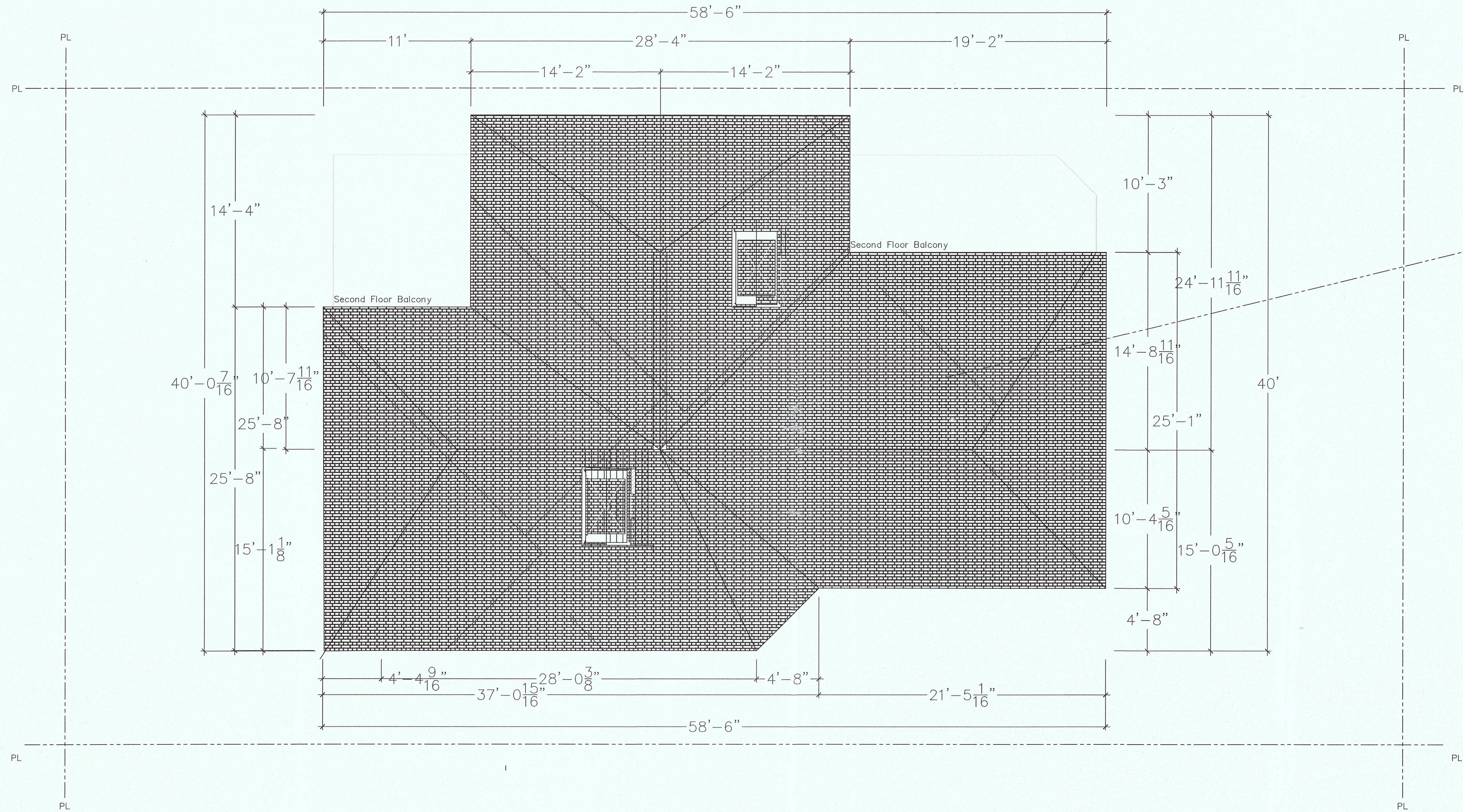
Drawn by

Scale 1/4" = 1' - 0"

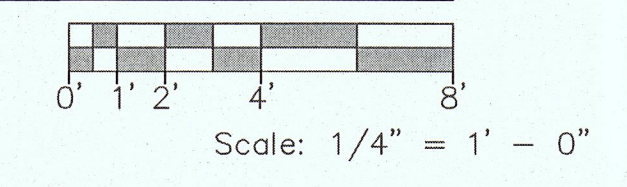
Project Name Vossough Residence
 Owner Massoud Vossough
 Project Address Nevada Ave & Ellendale Rd
 Moss Beach, CA
 APN - 037-135-170

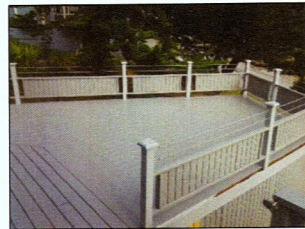
Date 9/20/2014

A7

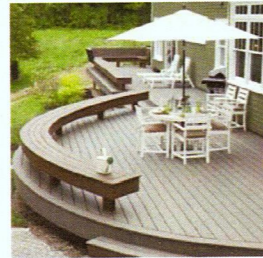


Proposal - Roof Plan





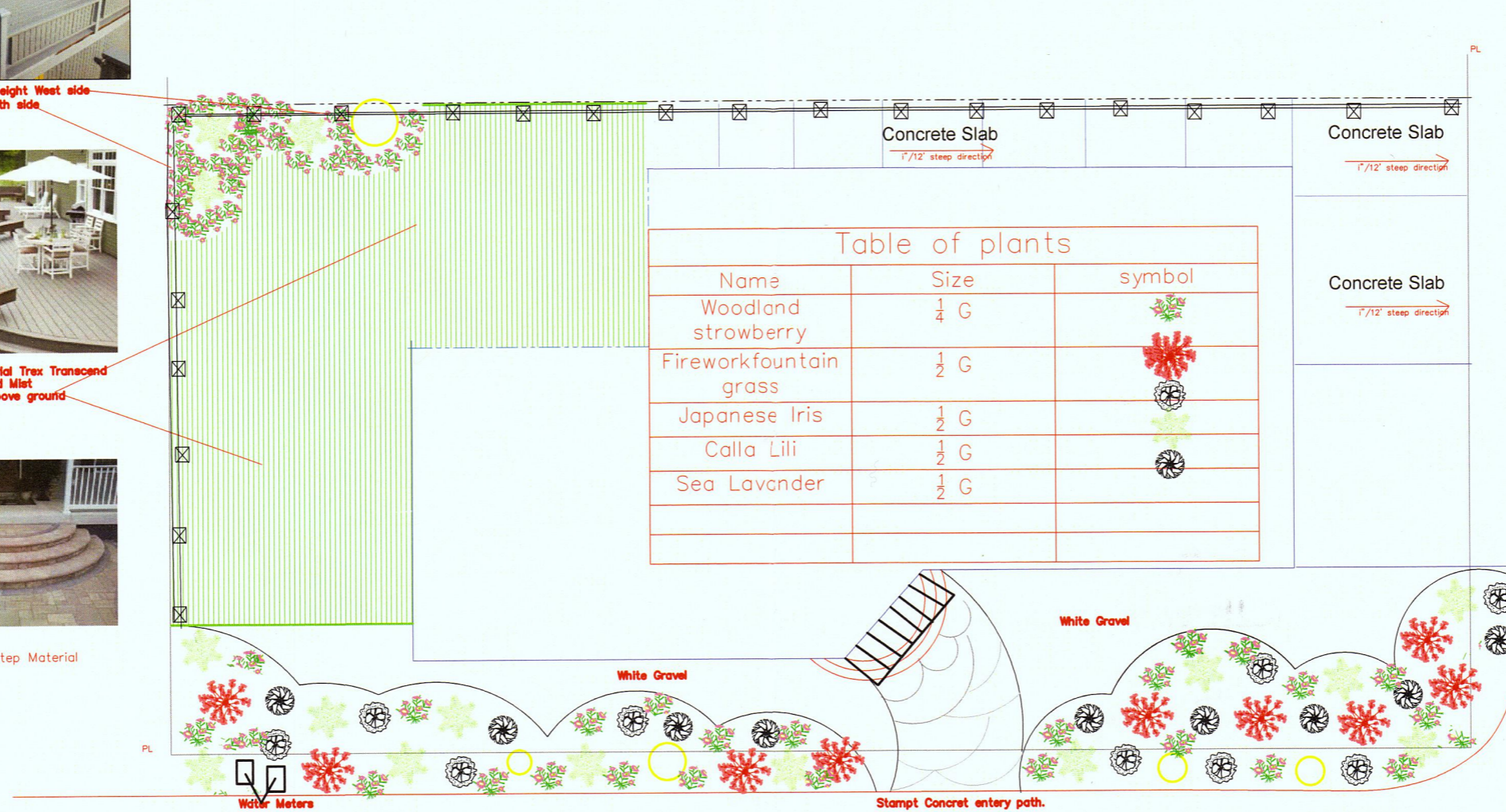
Fences 24" Height West side
72" High South side



Deck Material Trex Transcend
Color Island Mist
Max 18" above ground



Entrance door step Material



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DEC 01 2017
San Mateo County
Planning and Building Department

No. / Date / Revision
7/26 /2014 Created
11/01 /2017 Revised

Drawing Title Landscape Plan	Drawn by JM & B. Vaitani
	Scale 3/16" = 1' - 0"

Project Name Vossugh Residence	Owner Massoud Vossugh
Project Address Nevada Ave & Ellendale Rd Moss Beach, CA APN - 037-135-170	
Date 9/20/2014	

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