

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:2,257



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June 13, 2019

Doug Machado
P. O Box 2902
El Granada, CA 94018

Dear Mr. Machado:

SUBJECT: Coastside Design Review Permit and Grading Permit
The Alameda, El Granada
APN 047-127-520; County File No. PLN 2018-00454

Staff has reviewed your application for Design Review and staff-level Grading Permits to allow construction of a new 1,917 sq. ft. one-story single family residence with a 493 sq. ft. detached 2-car garage and a 749 sq. ft. second unit on a 6,000 sq. ft. legal parcel (legality confirmed via merger: PLN2017-00235), including 655 cubic yards of cut and no fill. No significant trees are proposed for removal. The second dwelling unit is a ministerial project that did not require discretionary review or approval.

The project proposes a single-family residential use on an undeveloped property located within the R-1/S-17/DR/CD (Single-Family Residential/5,000 sq. ft. minimum parcel size/Design Review/Coastal Development) Zoning District. The project involves construction of a single-family residence as allowed by the R-1 Zoning District. Staff has reviewed the project for compliance with the development standards of the S-17 Regulations and found that the project complies.

The grading permit application has been reviewed and preliminarily approved by the Planning and Building Department's Drainage Section and the Geotechnical Section.

At its meeting of May 9, 2019, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for design review. The CDRC recommended approval of your project, based on and subject to the findings and conditions provided in this letter. The second dwelling unit is a ministerial project that did not require review by the CDRC.

Based on the plans, application forms and accompanying materials submitted, staff has approved your project based on and subject to the following findings and recommended conditions:



FINDINGS

Staff found that:

1. For the Environmental Review

This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3(a), relating to the construction of one single-family residence in an urban, residential zone.

2. The Coastside Design Review Committee found that:

The project has been reviewed under and found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- a. *Section 6565.20 (C) SITE PLANNING AND STRUCTURE PLACEMENT; 2. Complement Other Structures in the Neighborhood; a. Privacy; Standard (1):* The design locates and orients the windows, entrances, deck, patio, and porch to minimize and mitigate views into neighboring houses and outdoor areas.
- b. *Section 6565.20 (D) ELEMENTS OF DESIGN; 1. Building Mass, Shape and Scale; b. Neighborhood Scale; Standard (1):* The design of the single family residence respects the scale of other single family residences in the neighborhood through building dimensions, style, shape and form and materials that are proportional and complementary to other single family residences in the neighborhood.
- c. *Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Style and Features; a. Architectural Style; Standards (1) and (2):* The design of the single family residence uses an architectural style and materials that complements the coastal, semi-rural small town environment, such as a one-story design for main house, wraparound porch, and metal roof.
- d. *Section 6565.20 (D) ELEMENTS OF DESIGN; 2. Architectural Styles and Features; d. Garages; Standards (1) and (2):* The placement of the garage at the rear of the property avoids making it the dominant feature as seen from the street, and decorative garage doors increase visual interest and add facade articulation to the west elevation of the garage building.

Staff found that:

3. For the Grading Permit

- a. That the granting of the permit will not have a significant adverse effect on the environment. This project has been reviewed and preliminarily approved by the Department of Public Works and the Building Inspection Section's Geotechnical Consultant. With implementation of the proposed Grading Plan prepared by a licensed civil engineer, Condition No. 21, which requires that the project engineer provide written certification that all grading has been completed in conformance with the approved plans, conditions of approval, and the Grading Regulations, the potential for geological hazards related to geologic conditions would be minimized. With implementation of the proposed Erosion Control Plan and required conditions of approval, potential for significant project-related erosion would be minimized.
- b. That the project conforms to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code, including the standards referenced in Section 8605. The project, as proposed and conditioned, conforms to the standards in the Grading Regulations, including erosion and sediment control, dust control, and timing of grading activity.
- c. That the project is consistent with the General Plan. The County General Plan land use designation for the property is Medium Density Residential within an urban area. As proposed and conditioned, the project complies with General Plan Policies 2.23 (Regulate Excavation, Grading, Filling, and Land Clearing Activities Against Accelerated Soil Erosion) and 2.17 (Erosion & Sedimentation).

CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans approved by the Community Development Director and as reviewed by the Coastside Design Review Committee on May 9, 2019. Any changes or revisions to the approved plans shall be submitted to the Community Development Director for review and approval prior to implementation. Minor adjustments to project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the Coastside Design Review Committee, with applicable fees to be paid.
2. The design review final approval shall be valid for five (5) years from the date of approval, in which time a Building Permit shall be issued and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. The design review approval may be extended by a one (1)-year increment

with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.

3. The applicant shall include a copy of this letter on the top pages of the building plans.
4. The applicant shall indicate the following on plans submitted for a Building Permit, as stipulated by the Coastside Design Review Committee:
 - a. Add more perimeter planting to the landscape plan.
 - b. Revise the landscape plan to account for the retention basin.
 - c. In the landscape plan and the civil plan, coordinate the details for steps and the retaining wall in the front yard.
 - d. Replace the white redwood fence with a post-and-rail fence with wire.
 - e. On the west elevation, shift the three kitchen windows to be centered with the kitchen island to avoid being out of alignment with the ceiling transition and dormer. Revise the proposed picture window to be two picture windows centered under two transom windows in the dormer. For optimal views, consider an additional picture window of same proportion closer to the front of home. Add divided lites to these windows at the upper part of the panes to mimic the other proposed windows.
 - f. Use a medium-dark charcoal color (7 on a scale of 10) or medium-to-dark brown stained wood for the garage door and the exterior door next to the garage door.
 - g. Use the color Tricorn Black for all exterior doors except for the garage door and the exterior door adjacent to the garage door.
5. The applicant shall provide "finished floor elevation verification" to certify that the structure is actually constructed at the height shown on the submitted plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site.
 - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of

- the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
- d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
 - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Community Development Director.
6. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
- a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.

- g. Use of sediment controls or filtration to remove sediment when dewatering the site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
7. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
8. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Drainage Section, the Geotechnical Section, the Coastside Fire Protection District, the Granada Community Services District, and the Coastside County Water District.
9. No site disturbance shall occur, including any grading or vegetation removal, until a building permit has been issued.
10. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.

- b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way on The Alameda. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on The Alameda. There shall be no storage of construction vehicles in the public right-of-way.
11. The exterior color samples submitted to the CDRC, with modifications as specified in Condition No. 4, are approved. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.
 12. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving and Christmas (San Mateo Ordinance Code Section 4.88.360).
 13. Installation of the approved landscape plan is required prior to final inspection.
 14. At the building permit application stage, the project shall demonstrate compliance with the Water Efficient Landscape Ordinance (WELO) and provide the required forms. WELO applies to new landscape projects equal to or greater than 500 sq. ft. and rehabilitated landscape projects equal to or greater than 2,500 square feet. A prescriptive checklist is available as a compliance option for projects under 2,500 square feet. The Performance approach is applicable to new and/or rehabilitated landscape projects over 2,500 square feet.

Grading Permit

15. No grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion. The applicant shall submit a letter to the Current Planning Section, a minimum of two (2) weeks prior to commencement of grading, stating the date when grading will begin. A Winter Grading Exception may be granted for grading during the winter season at the discretion of the Community Development Director.
16. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.

17. No grading activities shall commence until the property owner has been issued a grading permit (issued as the "hard card" with all necessary information filled out and signatures obtained) by the Current Planning Section.
18. Prior to any land disturbance and throughout the grading operation, the property owner shall implement the erosion control plan, as prepared and signed by the engineer of record and approved by the decision maker. Revisions to the approved erosion control plan shall be prepared and signed by the engineer and submitted to the Community Development Director for review and approval.
19. Prior to issuance of the grading permit "hard card," the property owner shall submit a schedule of all grading operations to the Current Planning Section, subject to review and approval by the Current Planning Section. The submitted schedule shall include a schedule for winterizing the site. If the schedule of grading operations calls for the grading to be completed in one grading season, then the winterizing plan shall be considered a contingent plan to be implemented if work falls behind schedule. All submitted schedules shall represent the work in detail and shall project the grading operations through to completion.
20. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading remediation activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.
21. For the final approval of the grading permit, the property owner shall ensure the performance of the following activities within thirty (30) days of the completion of grading at the project site: (a) The engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval/mitigation measures, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer, and (b) The geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and the Current Planning Section.
22. An Erosion Control and/or Tree Protection Inspection is required prior to the issuance of a building permit for grading, construction, and demolition purposes, as the project requires tree protection of significant tree(s) [insert grading permit if applicable]. Once all review agencies have approved your Building Permit, you will be notified that an approved job copy of the Erosion Control and/or Tree Protection Plan is ready for pick-up at the Planning counter of the Planning and Building Department. Once the Erosion Control and/or Tree Protection measures have been installed per the approved plans, please contact the Building Inspection Section at 650/363-7311 to schedule a pre-site inspection. A \$144 inspection fee will be assessed to the Building Permit for the inspection. If the initial pre-site inspection is not approved, an additional inspection fee

will be assessed for each required re-inspection until the job site passes the Pre-Site Inspection, or as determined by the Building Inspection Section.

Building Inspection Section

23. A Building Permit is required.

Drainage Section

24. A revised drainage report prepared and stamped by a Registered Civil Engineer which includes (1) an appropriate factor of safety in the sizing of stormwater retention facilities and (2) calculations supporting the design of the pervious pavement reservoir depth shall be submitted at the Building Permit stage.
25. A final grading and drainage plan stamped and signed by a Registered Civil Engineer shall be submitted at the Building Permit stage.
26. An updated C3/C6 Checklist (if changes to pervious areas have been made during the design phase) shall be submitted at the Building Permit stage.

Geotechnical Section

27. A geotechnical report shall be required at the Building Permit stage.

Coastside Fire Protection District

28. Fire Department access shall be to within 150 ft. of all exterior portions of the facility and all portions of the exterior walls of the first story of the buildings as measured by an approved access route around the exterior of the building or facility. Access shall be a minimum of 20 ft. wide, all weather capability, and able to support a fire apparatus weighing 75,000 lbs. Where a fire hydrant is located in the access, a minimum of 26 ft. is required for a minimum of 20 ft. on each side of the hydrant. This access shall be provided from a publicly maintained road to the property. Grades over 15 percent shall be paved and no grade shall be over 20 percent. When gravel roads are used, it shall be class 2 base or equivalent compacted to 95 percent. Gravel road access shall be certified by an engineer as to the material thickness, compaction, all weather capability, and weight it will support.
29. All buildings that have a street address shall have the number of that address on the building, mailbox, or other type of sign at the driveway entrance in such a manner that the number is easily and clearly visible from either direction of travel from the street. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway. An address sign shall be placed at each break of the road where deemed applicable by the San Mateo County Fire Department. Numerals shall be contrasting in

color to their back-ground and shall be no less than 4 inches in height, and have a minimum 1/2-inch stroke. Remote signage shall be a 6" x 18" green reflective metal sign.

30. Contact the Fire Marshal's Office to schedule a Final Inspection prior to occupancy and Final Inspection by a Building Inspector. Allow for a minimum of 72 hours' notice to the Fire Department at (650) 573-3846.
31. A fire flow of 500 gpm for 2 hours with a 20-psi residual operating pressure must be available as specified by additional project conditions to the project site. The applicant shall provide documentation including hydrant location, main size, and fire flow report at the building permit application stage. Inspection required prior to Fire's final approval of the building permit or before combustibles are brought on site. There is a hydrant within the required 500 feet but it will need to be updated to a Clow 960.
32. Any chimney or woodstove outlet shall have installed onto the opening thereof an approved (galvanized) spark arrestor of a mesh with an opening no larger than 1/2 inch in size or an approved spark arresting device. Maintain around and adjacent to such buildings or structures a fuelbreak/firebreak made by removing and cleaning away flammable vegetation for a distance of not less than 30 feet and up to 100 feet around the perimeter of all structures or to the property line, if the property line is less than 30 feet from any structure. This is not a requirement nor an authorization for the removal of live trees. Remove that flammable portion of any tree which extends within 10 feet of the outlet of any chimney or stovepipe, or within 5 feet of any portion of any building or structures. Remove that dead or dying portion of any tree which extends over the roof line of any structure.
33. Smoke alarms and carbon monoxide detectors shall be installed in accordance with the California Building and Residential Codes. This includes the requirement for hardwired, interconnected detectors equipped with battery backup and placement in each sleeping room in addition to the corridors and on each level of the residence.
34. An approved Automatic Fire Sprinkler System meeting the requirements of NFPA-13D shall be required to be installed for your project. Plans shall be submitted to the San Mateo County Building Department for review and approval by the authority having jurisdiction.
35. A statement that the building will be equipped and protected by automatic fire sprinklers must appear on the title page of the building plans.

Granada Community Services District (District)

36. The applicant must obtain a sewer connection permit to connect the project to the District's wastewater facilities.

Coastside County Water District (CCWD)

37. If fire sprinklers are required by the Coastside Fire Protection District, fire sprinklers shall be served from a separate water service connection with a separate fire meter. CCWD does not allow passive purge systems to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection, so there shall be no cross connections. Fire sprinkler drawings, details and plans must reflect these conditions.

The approval of this Design Review and Coastal Development Permit and any conditions of the approval may be appealed within ten (10) working days of the date of this letter. An appeal form accompanied by the applicable filing fee of \$616.35 must be **submitted by 5:00 p.m., on June 27, 2019**. For more information, please contact the project planner, Ruemel Panglao, at 650/363-4582 or rpanglao@smcgov.org.

To provide feedback, please visit the Department's Customer Survey at the following link: <http://planning.smcgov.org/survey>.

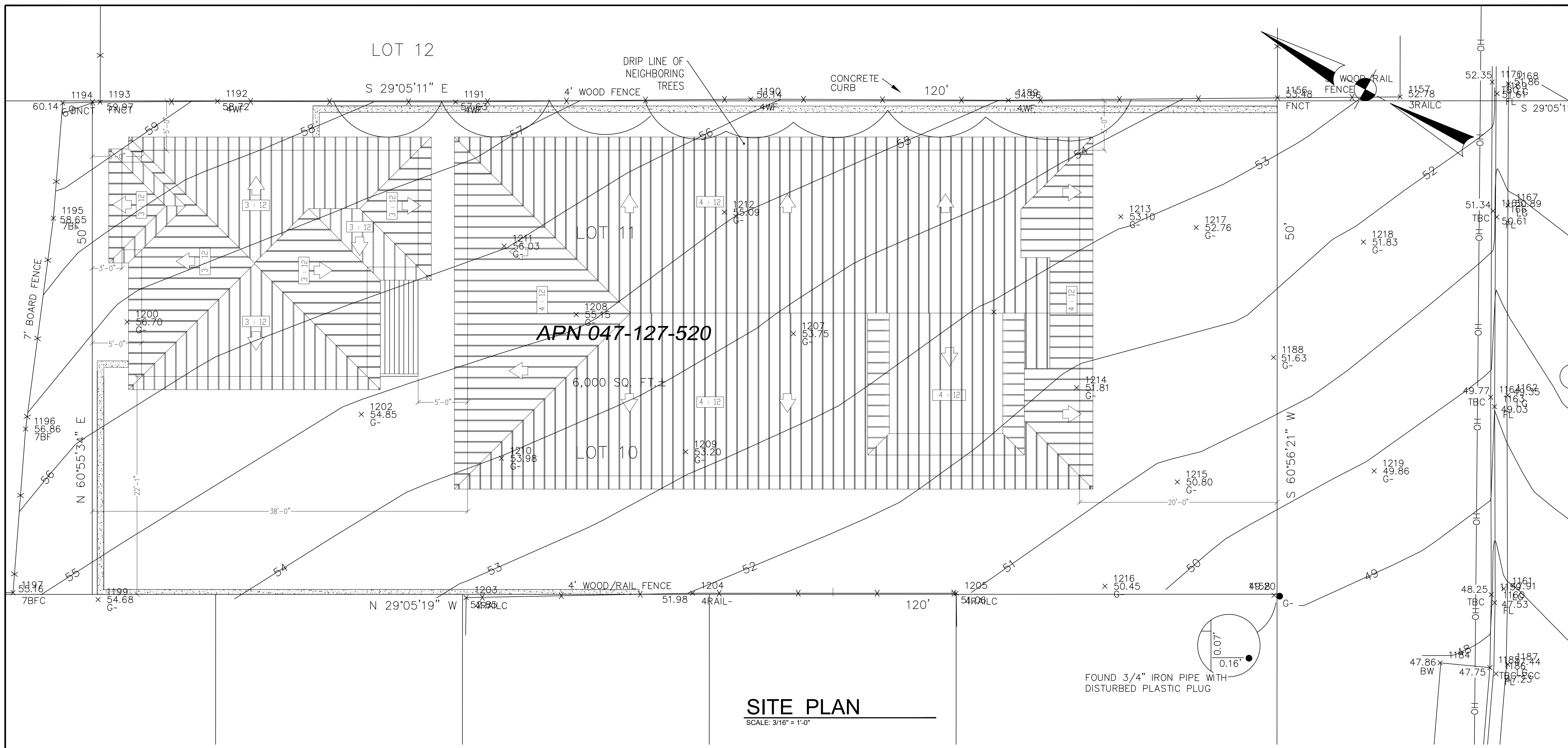
Sincerely,



Camille Leung, Senior Planner

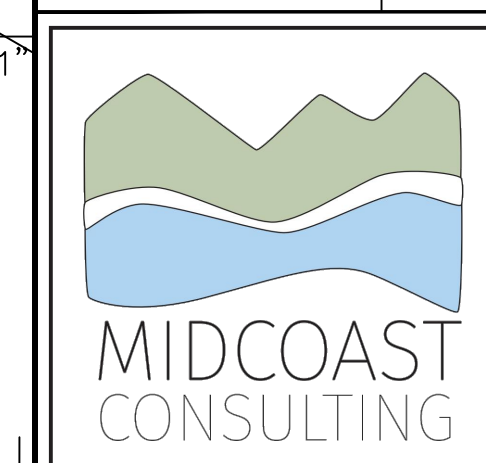
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- cc: CKC Investment Properties, Owner
Greg and Jennifer Cohn, Owner
Katie Kostiuk, Member Architect
Bruce Chan, Member Landscape Architect
Chris Johnson, El Granada Community Representative
Jane and Patrick Hillhouse, Interested Member of the Public



SITE PLAN
SCALE: 3/16" = 1'-0"

REVISIONS	DATE	BY
WINDOW CHANGE	1/15/2020	DM



DOUG MACHADO
PO BOX 2902
EL GRANADA, CA
650-670-2810
midcoastconsult@gmail.com

COHN RESIDENCE

THE ALAMEDA
EL GRANADA, CA.

NOTES

- NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST SIX FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY.
- ROOF COVERINGS AND ASSOCIATED MATERIALS SHALL HAVE A MINIMUM FIRE RATING OF CLASS B OR HIGHER AS DEFINED IN THE CALIFORNIA BUILDING CODE, COASTSIDE FIRE DISTRICT ORDINANCE 2013-03.
- BUILDING SHALL BE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM.
- BUILDER TO PROVIDE AN OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER PER CAL GREEN SEC.4.408.1
- ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1)
- PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)
- AEROSOL PAINTS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.1) VERIFICATION OF COMPLIANCE SHALL BE PROVIDED
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3)
- MINIMUM 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.
- PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS 4.504.5..
- INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2).
- CHECK MOISTURE CONTENT OF BUILDING MATERIAL USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3).
- NO PLASTIC PIPING IS ALLOWED WITHIN THE BUILDING FOOTPRINT OR FOR THE WATER SERVICE.
- FIRE SPRINKLERS SHALL BE UNDER A SEPARATE PERMIT.
- ROOF TRUSS DRAWINGS TO BE DEFERRED SUBMITTAL. .
- AN ARBORIST REPORT SHALL BE REQUIRED FOR THE TREES THAT HAVE DRIP LINES THAT WILL BE ENCRoACHED ON DURING CONSTRUCTION AND BY THE PROPOSED STRUCTURE ITS SELF.

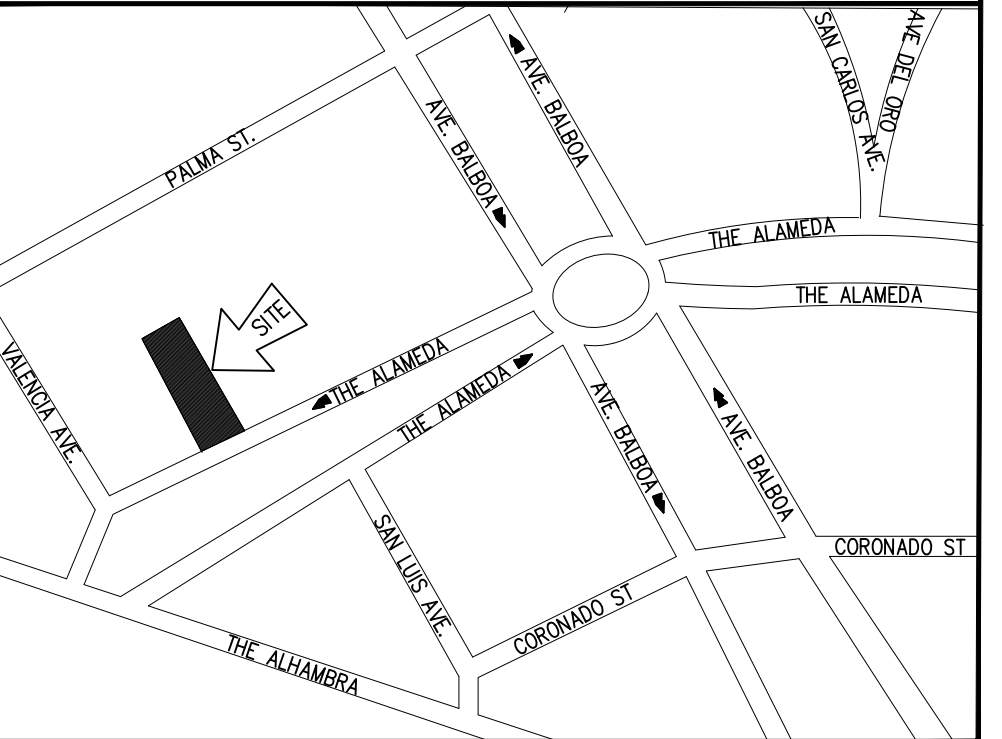
BUILDING CODES

ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL COMPLY TO THE 2016 EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) RESIDENTIAL CODE (CRC), PLUMBING CODE (CPC), MECHANICAL CODE (CMC), FIRE CODE (CFC), AND ELECTRICAL CODE (CEC) 2016 CALIFORNIA ENERGY CODE, 2016 CALIFORNIA GREEN BUILDING STANDARDS AND ALL APPENDICES THERETO.

SCOPE OF WORK

CONSTRUCT A NEW SINGLE STORY 1970 SQ.FT. SINGLE FAMILY RESIDENCE WITH A 474 SQ.FT. DETACHED GARAGE WITH A 750 SQ.FT. ACCESSORY DWELLING UNIT BUILT ABOVE THE GARAGE.

VICINITY



SITE DATA

OWNER : GREG AND JENNIFER COHN
 PHONE NUMBER : (650)-678-2646
 MAILING ADDRESS : 3045 RIVERA DRIVE BURLINGAME CA
 SITE ADDRESS : THE ALAMEDA EL GRANADA CA
 ASSESSORS PARCEL NO.: 047-127-520
 BUILDING TYPE : R1
 OCCUPANCY TYPE : R-3/U
 CONSTRUCTION TYPE : V-B
 LOT AREA : 6000 SQ.FT.
 ALLOWABLE LOT COVERAGE : 3000 SQ.FT.
 LOT COVERAGE : 2726 SQ.FT.
 ALLOWABLE FLOOR AREA : 3180 SQ.FT.
 GARAGE : 493 SQ.FT.
 MAIN HOUSE : 1917 SQ.FT.
 ADU : 749 SQ.FT.
 TOTAL FLOOR AREA 3158 SQ.FT
 ALLOWABLE FAR .53 (OR 53 %)
 FAR .53 (OR 53 %)

INDEX

SHEET NO.	DESCRIPTION
A0	COVER SHEET, VICINITY MAP, SITE PLAN, PERSPECTIVE
SU1	LAND SURVEY
C1	GRADING AND DRAINAGE PLAN
C2	EROSION AND SEDIMENT CONTROL PLAN
A1	1ST FLOOR PLAN
A2	HOUSE ELEVATIONS
A3	GARAGE & ADU ELEVATIONS
A4	SECTIONS A3
A5	SECTIONS A4
A6	ROOF PLAN
L1	LANDSCAPE PLAN

SHEET TITLE:

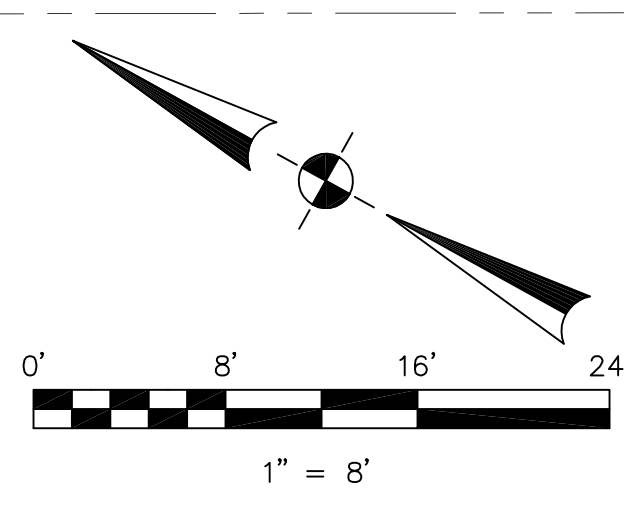
SITE PLAN

SCALE: AS NOTED

DATE: 01-15-2020

SHEET NO.

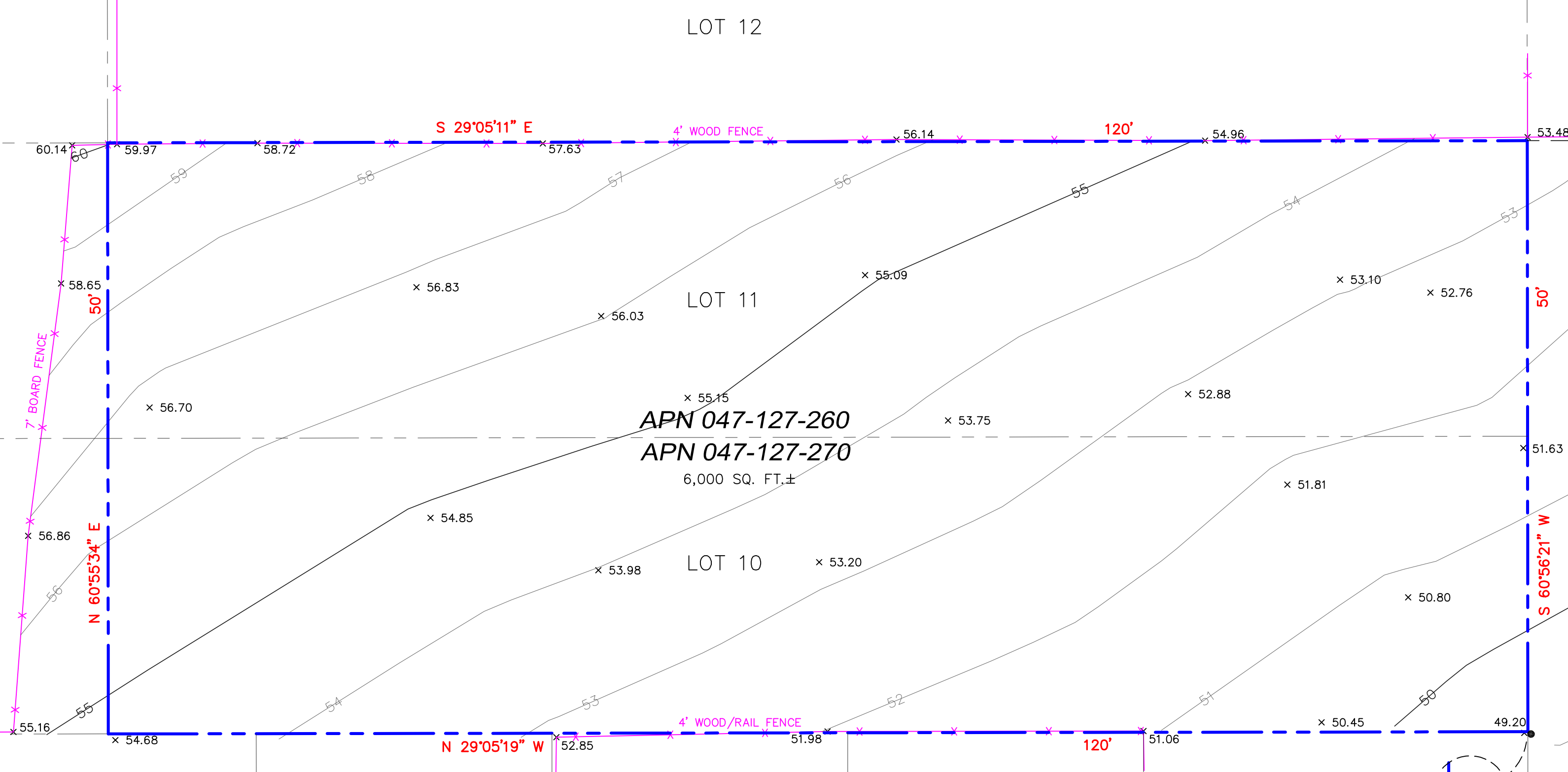
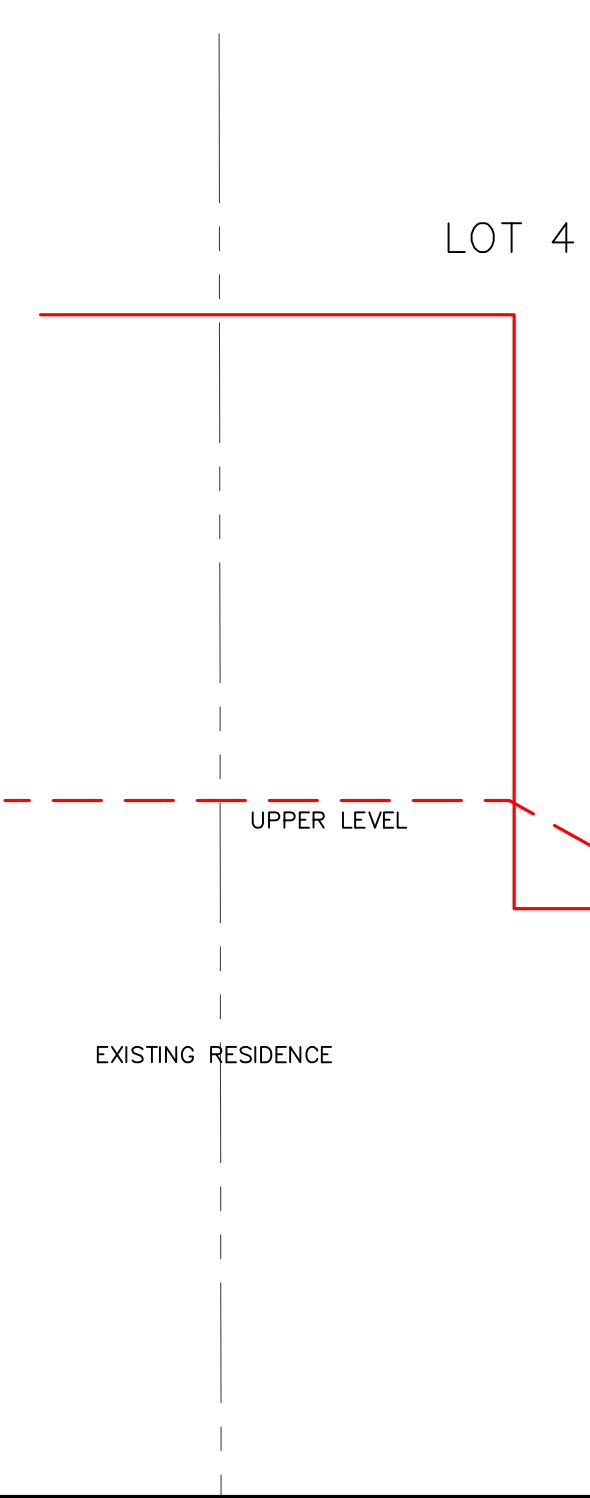
A-0



LEGEND

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- KV KILOVOLT
- LAT. LATERAL
- LG LIP OF GUTTER
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SLV STREET LIGHT VAULT
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE

- OH OVERHEAD LINES
- B-CL B-CL
- L-FNC L-FNC



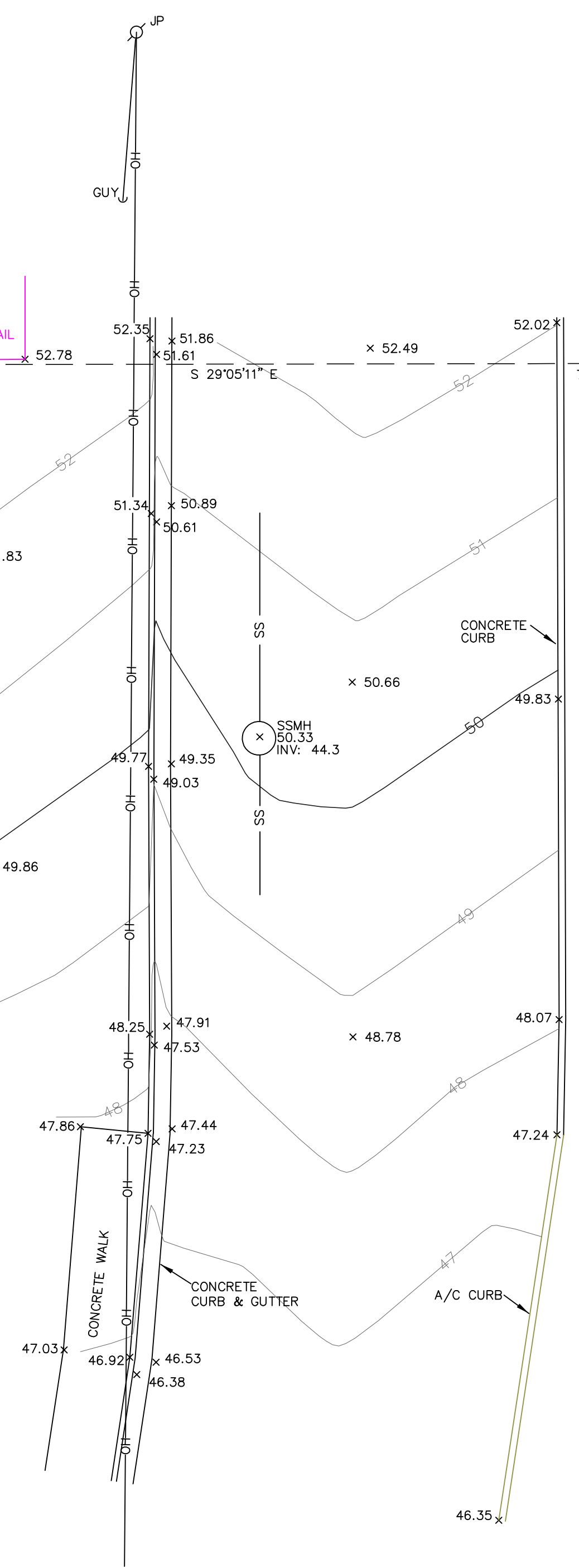
(HELD BACK OF WALK SPLITS AT NWLY END)
AVENUE BALBOA N 29°04'18" W
 BASIS OF BEARINGS
 FOUND ORIGINAL STONE MONUMENT WITH BRASS PIN DOWN 1.5'

BASIS OF BEARINGS

THE BEARING, NORTH 29°04'18" WEST, OF THE CENTERLINE OF AVENUE BALBOA, AS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED, "PLAT OF RESUBDIVISION OF SUBDIVISIONS NOS. 2 AND 3 OF GRANADA" WHICH WAS FILED FOR RECORD IN BOOK 6 OF MAPS PAGE 29 ON AUGUST 04, 1908, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "N 1240" WITH A PUBLISHED ELEVATION OF 19.96 FEET. LOCAL BENCHMARK IS THE LID OF THE SANITARY SEWER MANHOLE WITH AN ELEVATION OF 50.33 FEET AS SHOWN.



NOTES:

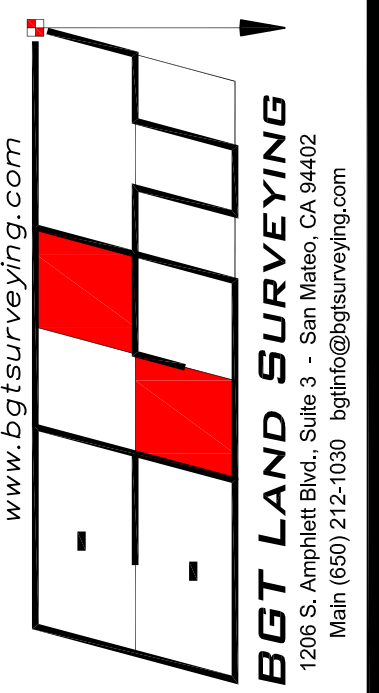
BGT RELIED UPON A LAWYERS TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 0051700728, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

SURVEY PERFORMED BY: BGT LAND SURVEYING
 www.bgtsurveying.com

DATE OF FIELD SURVEY: JUNE 22, 2018
 JOB NUMBER: 18-081

FOUND 2" SAN MATEO COUNTY BRASS DISK WITH PUNCH IN HANDHOLE



BOUNDARY AND TOPOGRAPHIC SURVEY
 LOTS 10-11, BLOCK 43, "PLAT OF RE-SUBDIVISIONS OF SUBDIVISIONS NOS. 2 AND 3 OF GRANADA" (BOOK 6 MAPS 29)

VACANT, THE ALAMEDA
 EL GRANADA, SAN MATEO COUNTY, CALIFORNIA

Assessor Parcel Number:
 047-127-260
 047-127-270

Prepared For:
 GREGORY COHN
 3045 Riviera Drive
 Burlingame, CA 94010

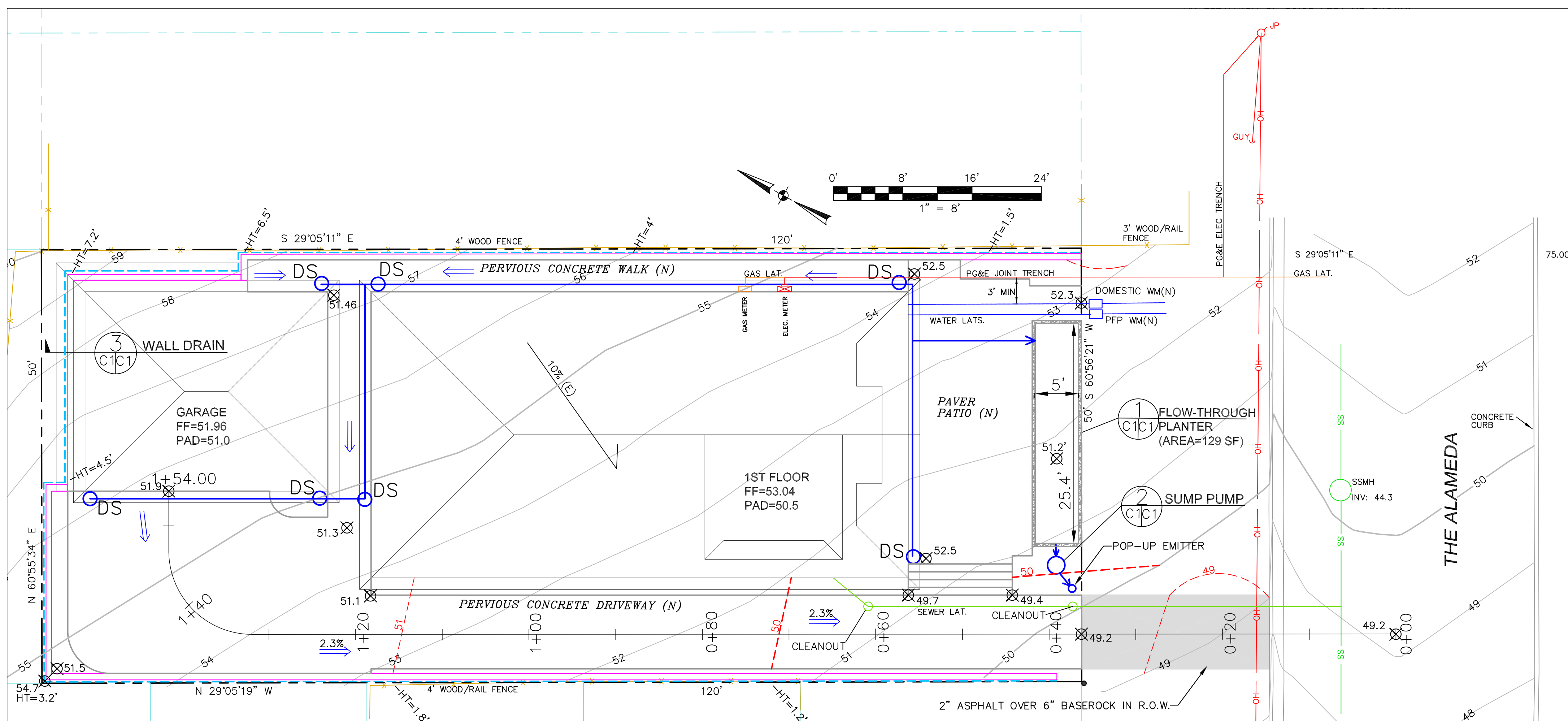
Date: JUNE, 2018
 Scale: 1" = 8'
 Contour Interval: 1'
 Drawn by: LHL

Revisions:

SU-1

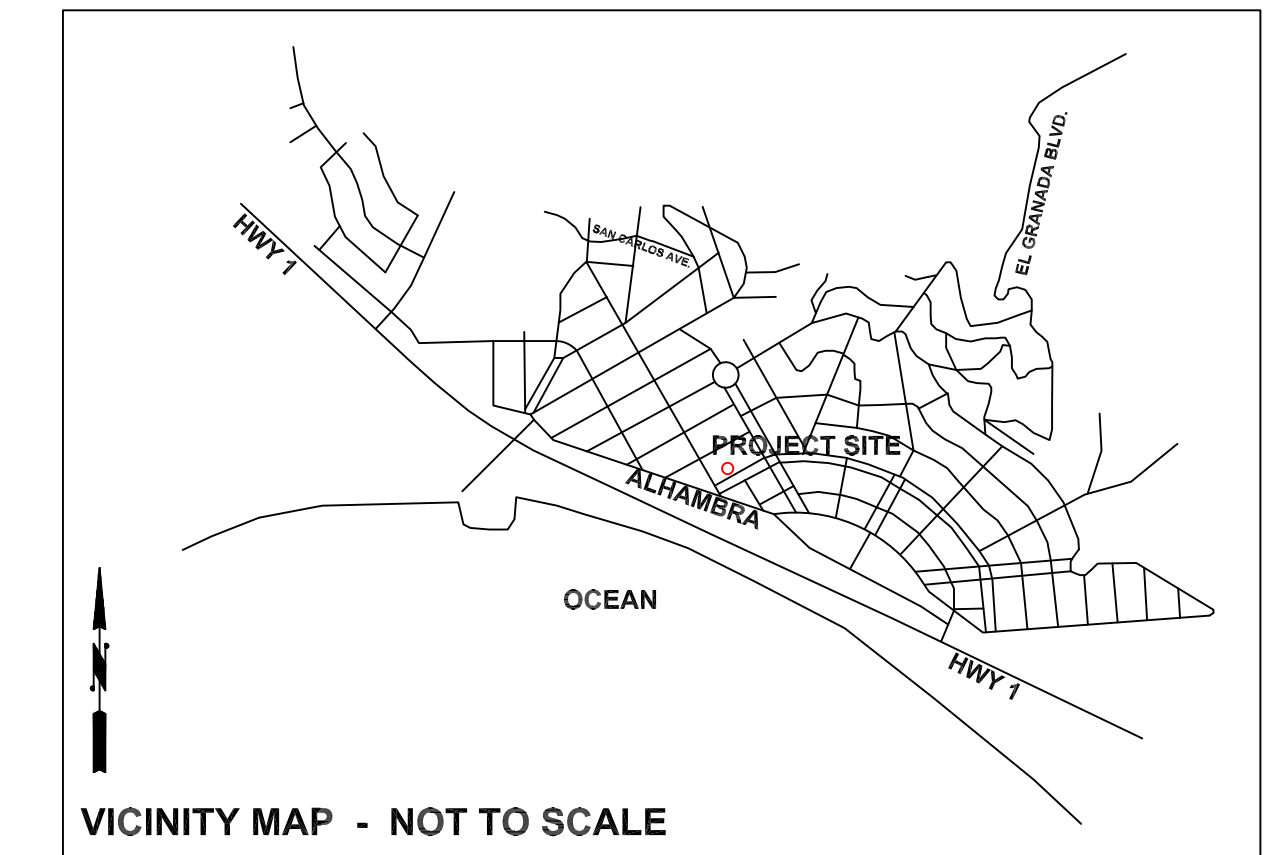
Job No. 18-081

AVE. ALHAMBRA



LEGEND

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPOSED CONTOUR
- 155.9' SPOT ELEVATION (N)
- SURFACE DRAINAGE FLOW
- DS DOWNSPOUT
- 3" DIAM. PVC DRAIN PIPE
- 3" PERFORATED PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- PROPOSED RETAINING WALL



CONSTRUCTION SCHEDULE

- DAY 1: INSTALL FIBER ROLLS.
- DAY 2: COMMENCE WORK WITH SITE CLEARING.
- DAY 3: INSTALL ROCKED CONSTRUCTION ENTRANCE
- WEEK 2: FINISH ROUGH GRADING
- WEEK 3: BEGIN FOUNDATIONS
- WEEK 5: POUR CONCRETE FOR FOOTINGS
- WEEK 6: BEGIN FRAMING
- MONTH 3: FINISH SHELL
- MONTH 5: FINISH MOST OF INTERIOR
- MONTH 7: FINISH PROJECT

GENERAL NOTES

1. PLANS PREPARED AT REQUEST OF: GREG COHN, OWNER
2. ELEVATION DATUM: ASSUMED
3. CONTOUR INTERVAL IS 1 FOOT.
4. SITE SURVEYED BY BGT LAND SURVEYING; 6-22-18.
5. THIS IS NOT A BOUNDARY SURVEY.

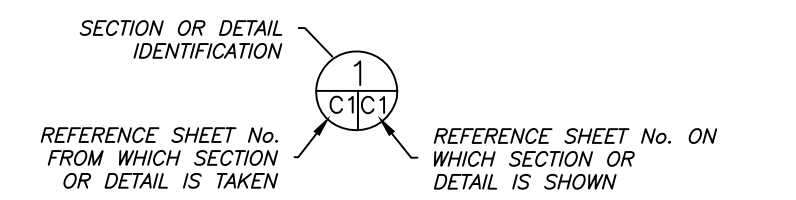
DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO FLOW-THROUGH PLANTER, AS SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 3" MIN. DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE FLOW-THROUGH PLANTER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

TRAFFIC CONTROL NOTES

1. CONTRACTOR AND WORKERS SHALL PARK ALONG THE ALAMEDA.
2. THE ROAD SHALL NOT BE BLOCKED.

SECTION AND DETAIL CONVENTION



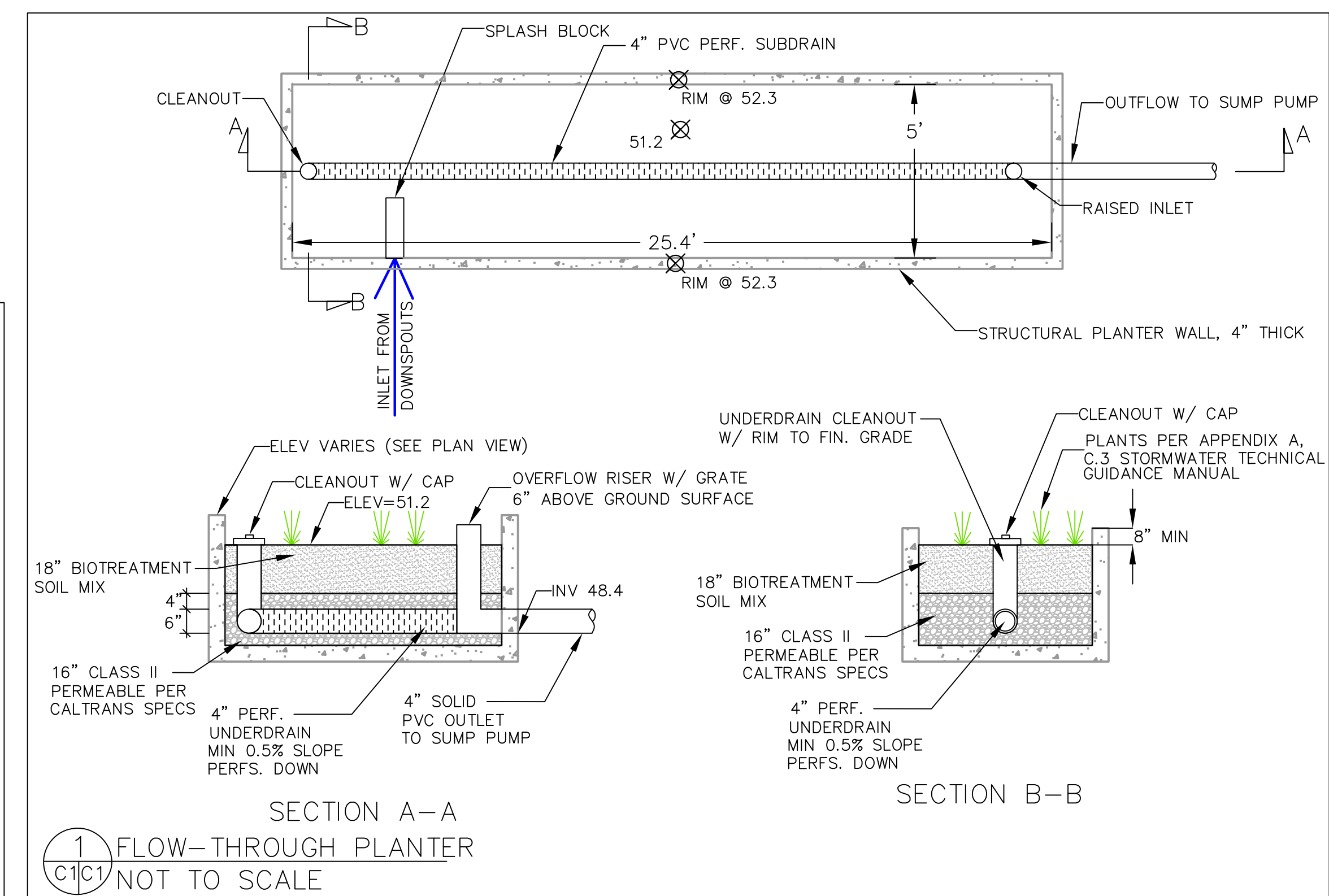
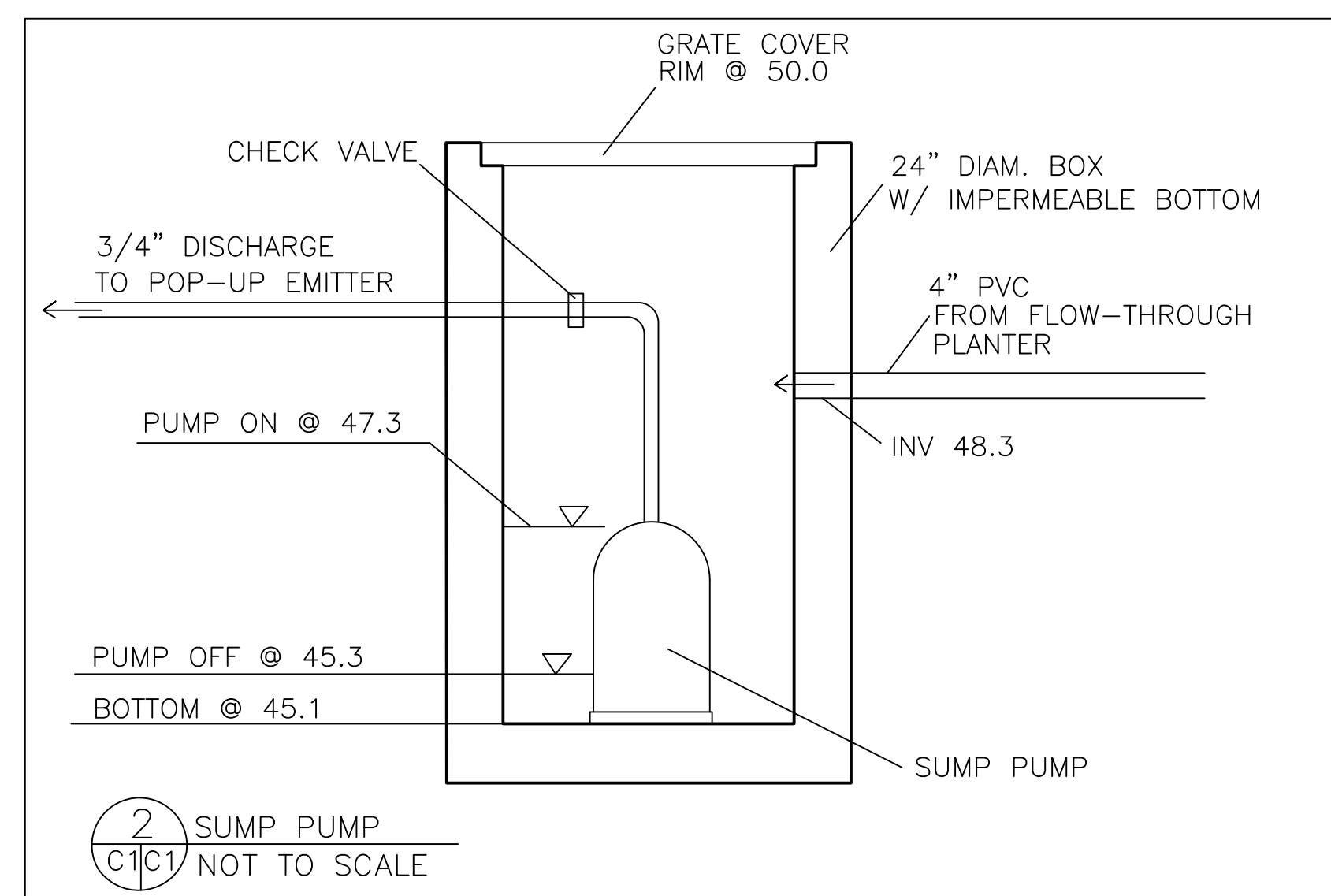
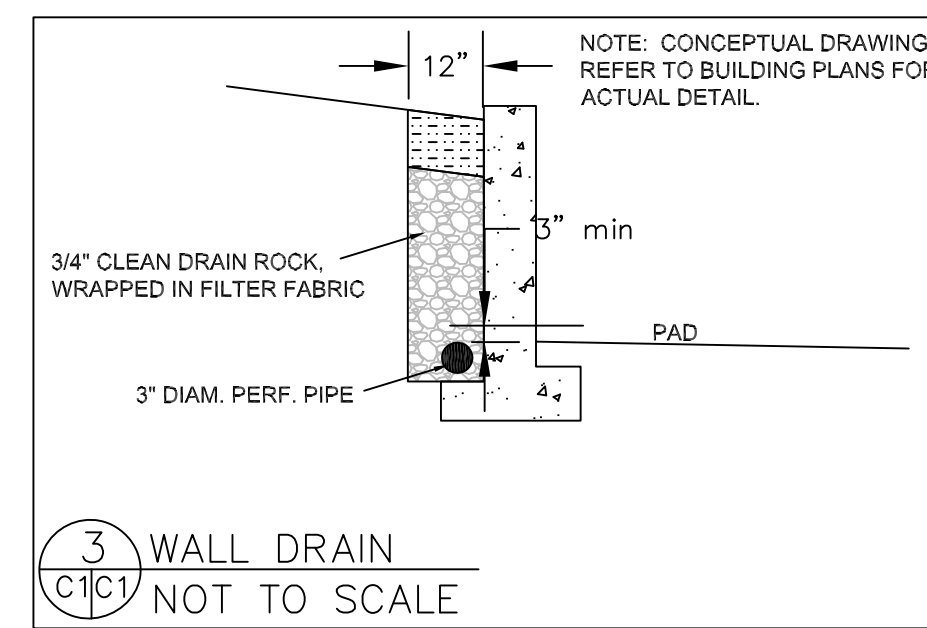
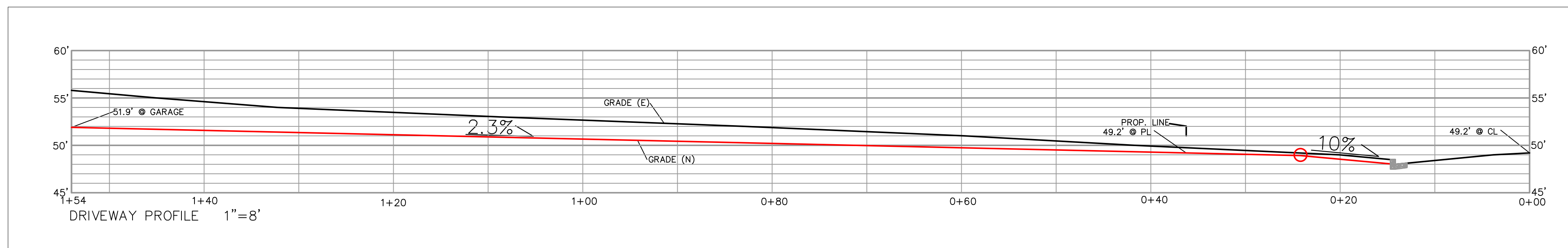
GRADING NOTES

CUT VOLUME : 655 CY
 FILL VOLUME: 0 CY
 TOTAL CUT/FILL = 655 CY

ABOVE VOLUMES ARE APPROXIMATE

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

CUT SLOPES SHALL BE NO STEEPER THAN 2:1 (H:V).



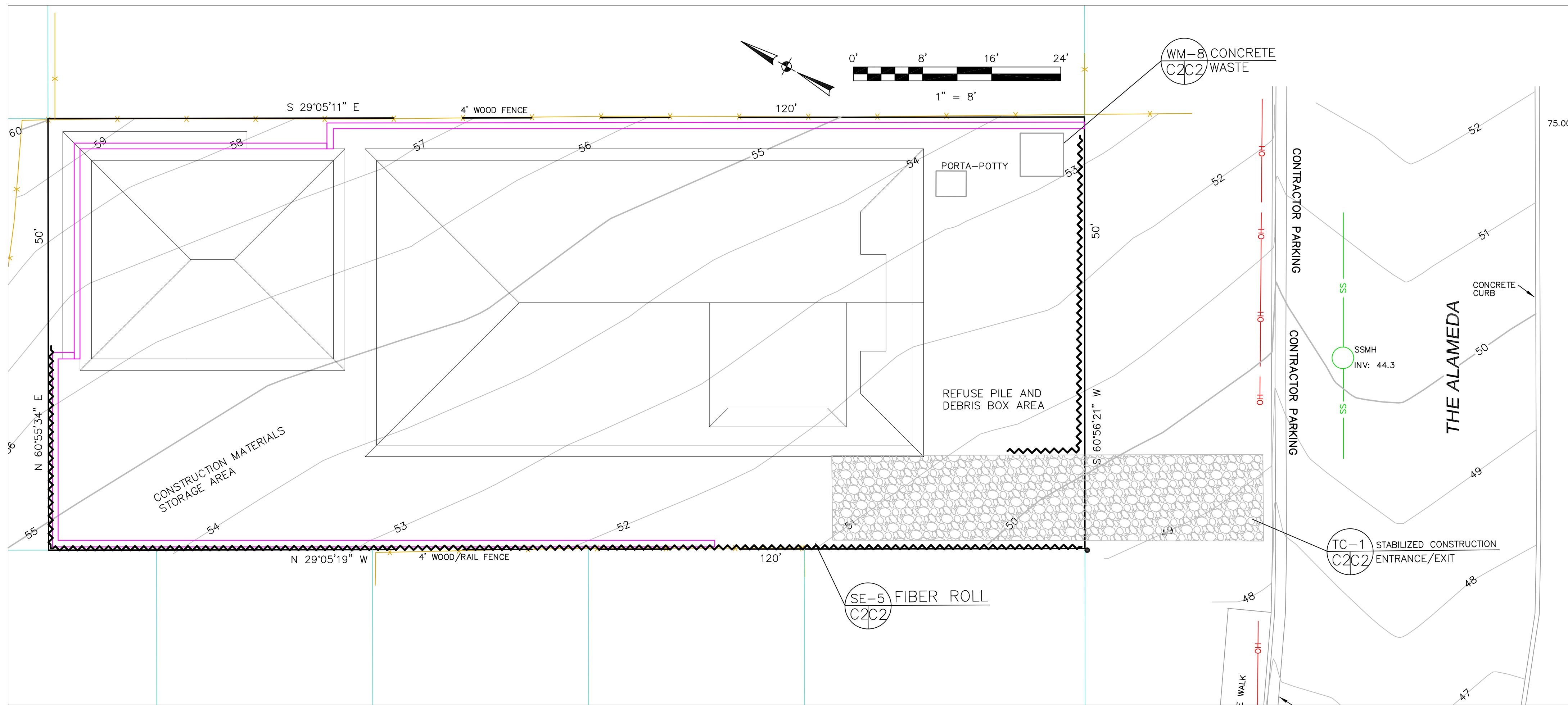
Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3580
 FAX 728-3583

DATE: 11-20-18	DRAWN BY: CMK	CHECKED BY: AZG
REV. DATE:	REV. DATE:	REV. DATE:
REV. DATE:	REV. DATE:	REV. DATE:

GRADING AND DRAINAGE PLAN

COHN PROPERTY
 THE ALAMEDA, EL GRANADA
 APN 047-127-520

SHEET
 C-1



GENERAL EROSION AND SEDIMENT CONTROL NOTES

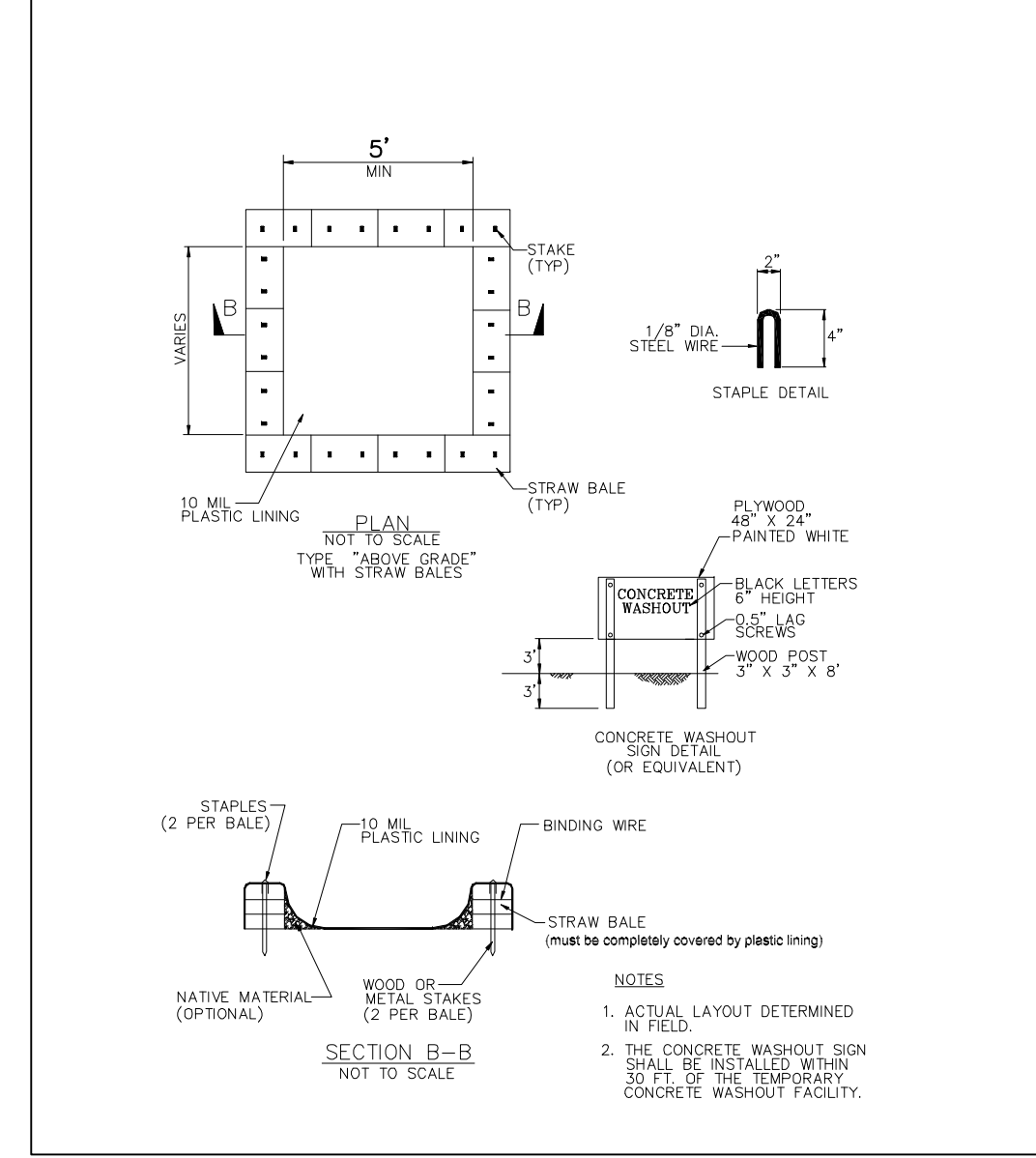
- FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: DOUG MACHADO
 TITLE/QUALIFICATION: CONTRACTOR
 PHONE: 650-670-2810
 E-MAIL: DOUGRMACHADO@GMAIL.COM

CONCRETE WASTE MANAGEMENT WM-8

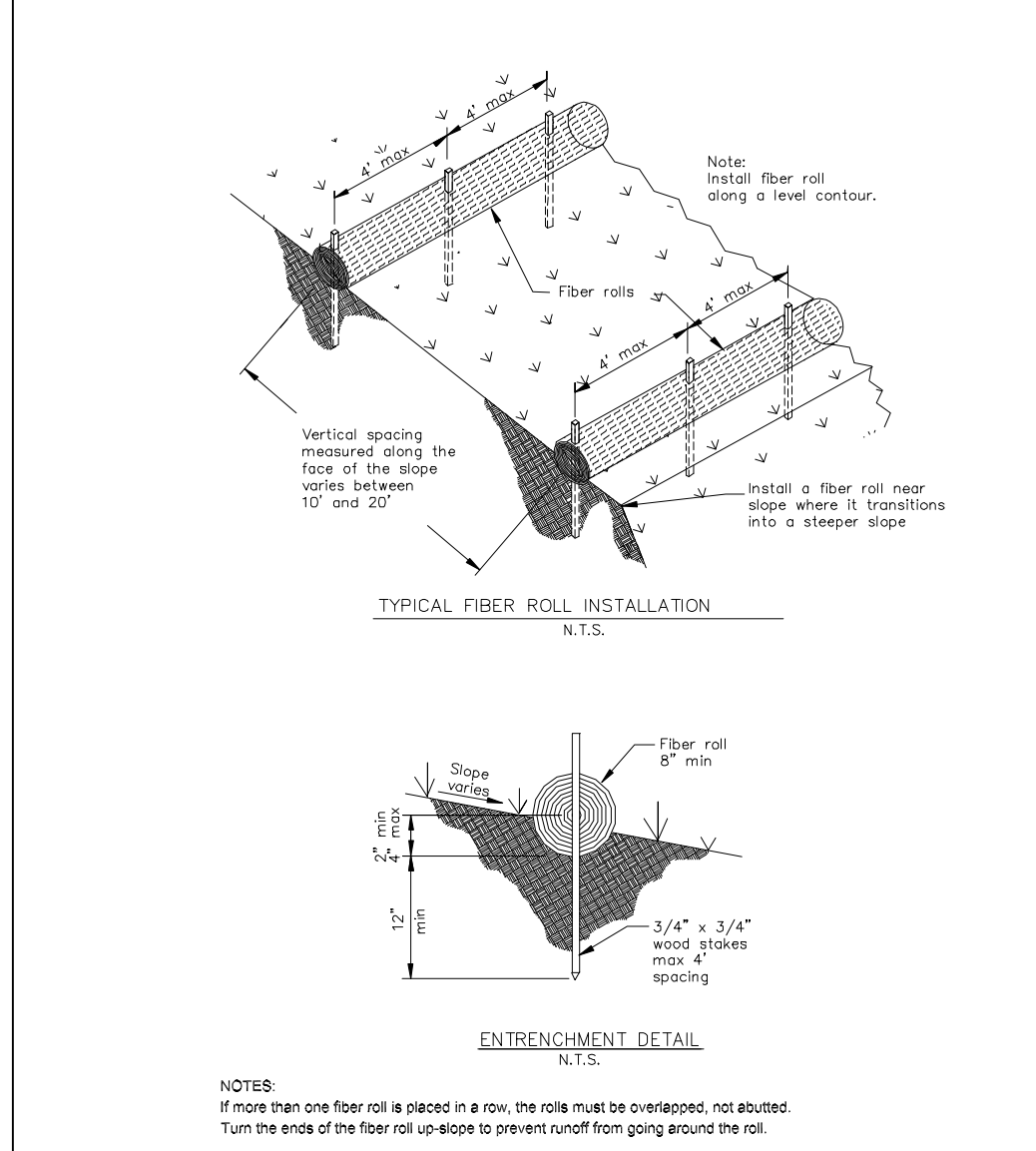


EROSION CONTROL NOTES

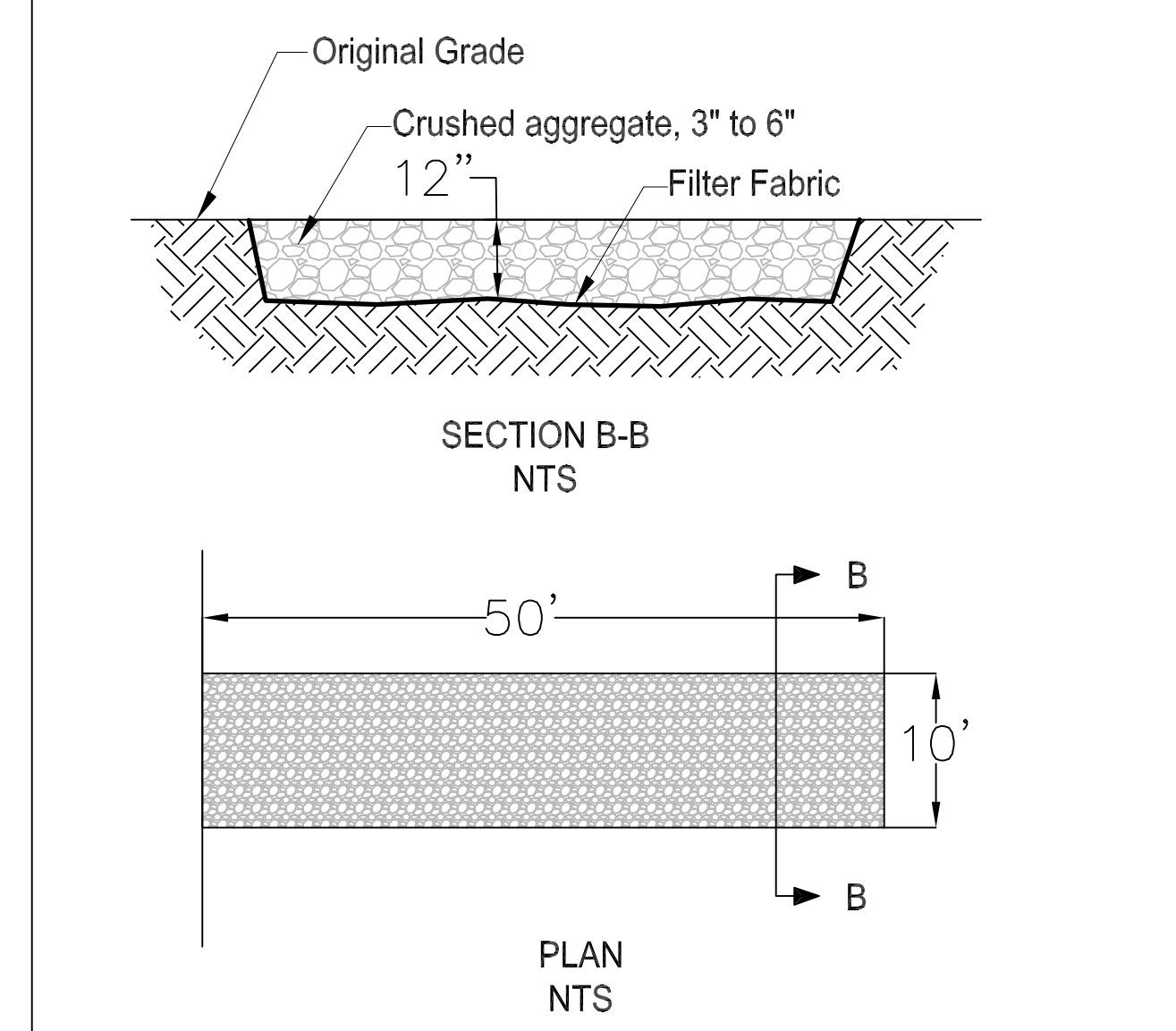
FIBER ROLL INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5

1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.

FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 10 FEET WIDE AND CONFORM TO THE FOLLOWING:
 A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
 B. PAD SHALL BE NOT LESS THAN 12" THICK.
 C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.



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 FAX 725-3593

DATE: 11-20-18
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE:
 REV. DATE:
 REV. DATE:

EROSION CONTROL PLAN
 COHN PROPERTY
 THE ALAMEDA, EL GRANADA
 APN 047-127-520

SHEET
 C-2

REVISIONS	DATE	BY
WINDOW CHANGE	1/15/2020	DM



DOUG MACHADO
PO BOX 2902
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650-726-1408
midcoastconsult@gmail.com

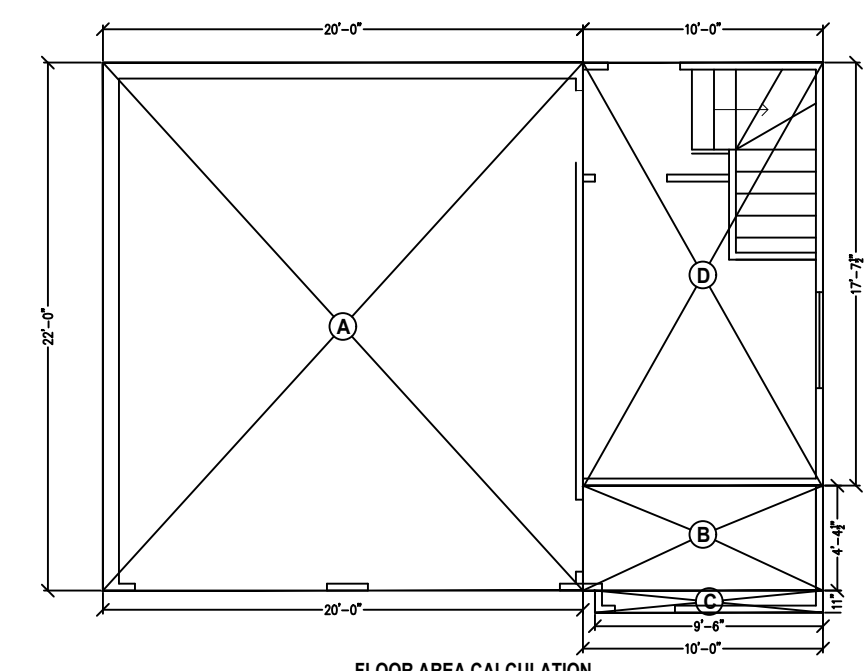
COHN RESIDENCE

THE ALAMEDA
EL GRANADA, CA.

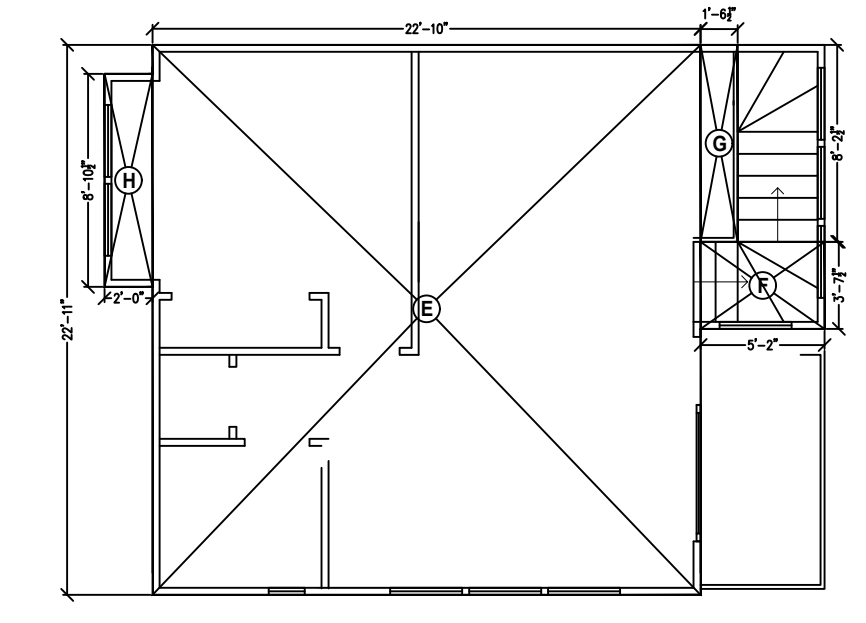
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FLOOR PLANS

SCALE: AS NOTED
DATE: 01-15-2020

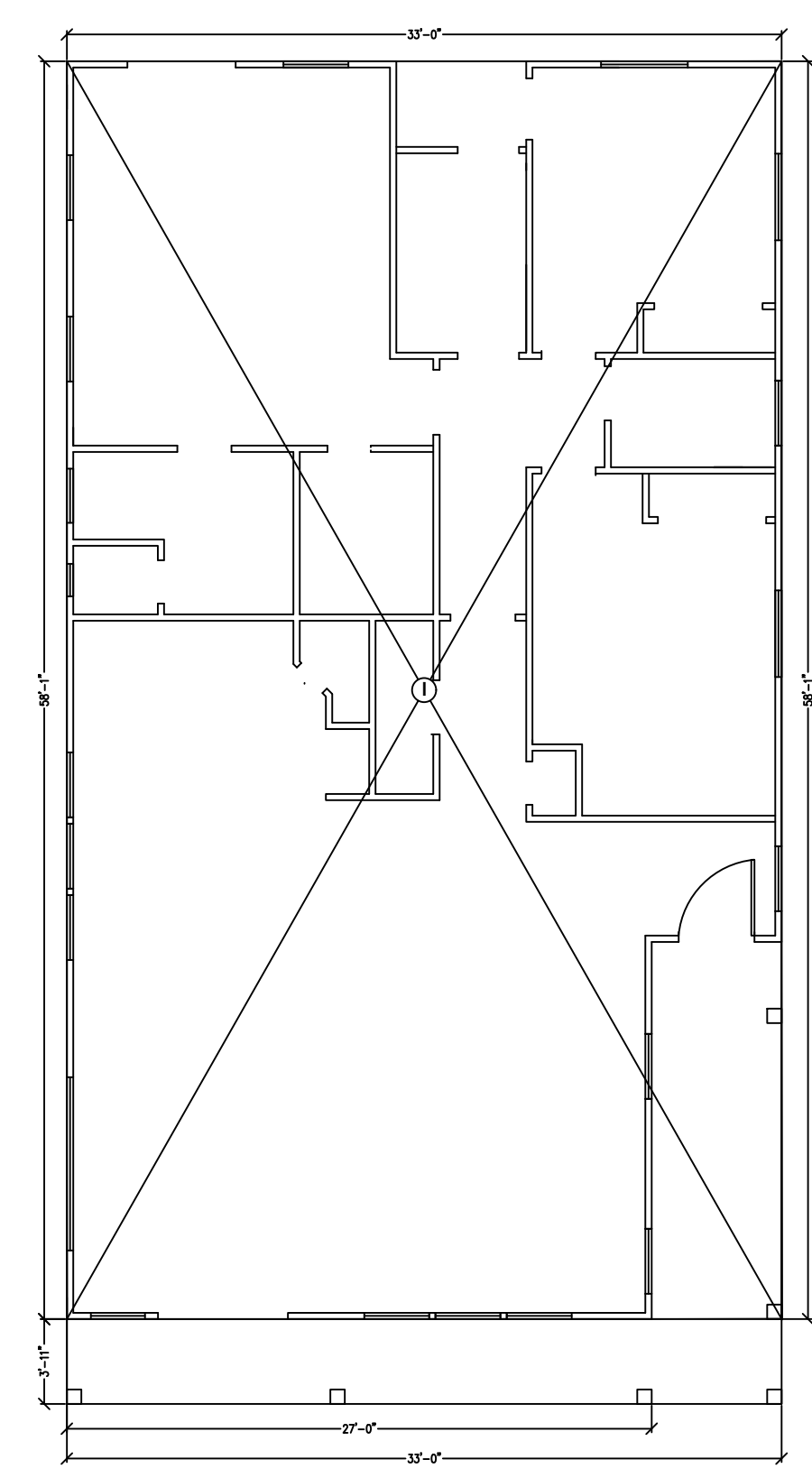
SHEET NO.
A-1



FLOOR AREA CALCULATION
AREA A : 20.0X22.0=440.0 (GARAGE)
AREA B : 4.37 X 10.0=43.7 (GARAGE)
AREA C : 3.92 X 9.6=37.7 (GARAGE)
AREA D : 17.62 X 10.0=176.25 (ADU)



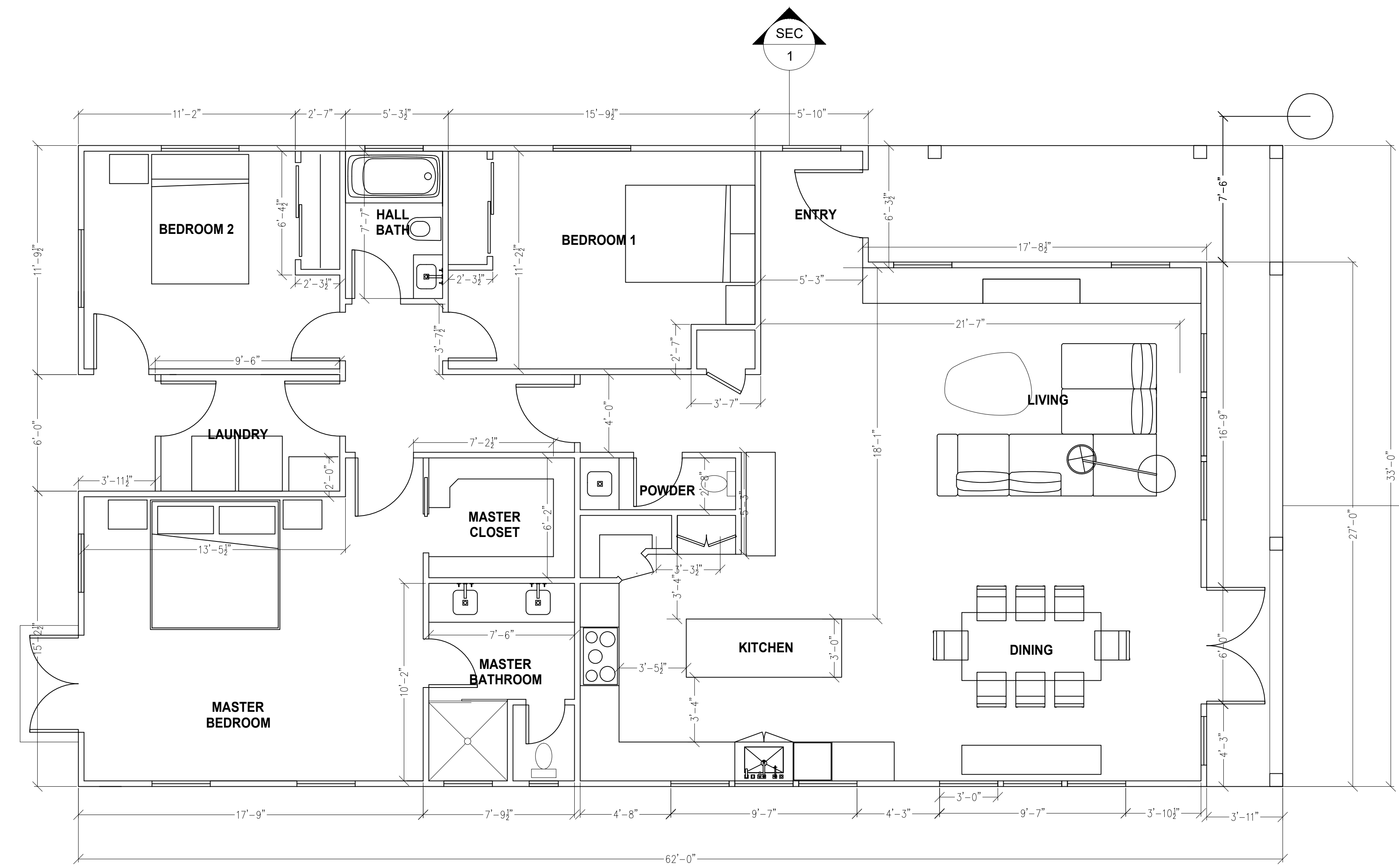
FLOOR AREA CALCULATION
AREA E : 22.83 X 22.92=523.18 (ADU)
AREA F : 5.16 X 3.62=18.72 (ADU)
AREA G : 1.54 X 8.20=12.6 (ADU)
AREA H : 8.87 X 2.0=17.74 (ADU)



FLOOR AREA CALCULATION
AREA I : 58.08 X 33.0=1916.75 (HOUSE)
FLOOR AREA CALCULATION TOTALS
HOUSE TOTAL 1916.75 SQFT
GARAGE TOTAL 492.4 SQFT
ADU TOTAL 748.5 SQFT
TOTAL FLOOR AREA 3157.65 SQFT

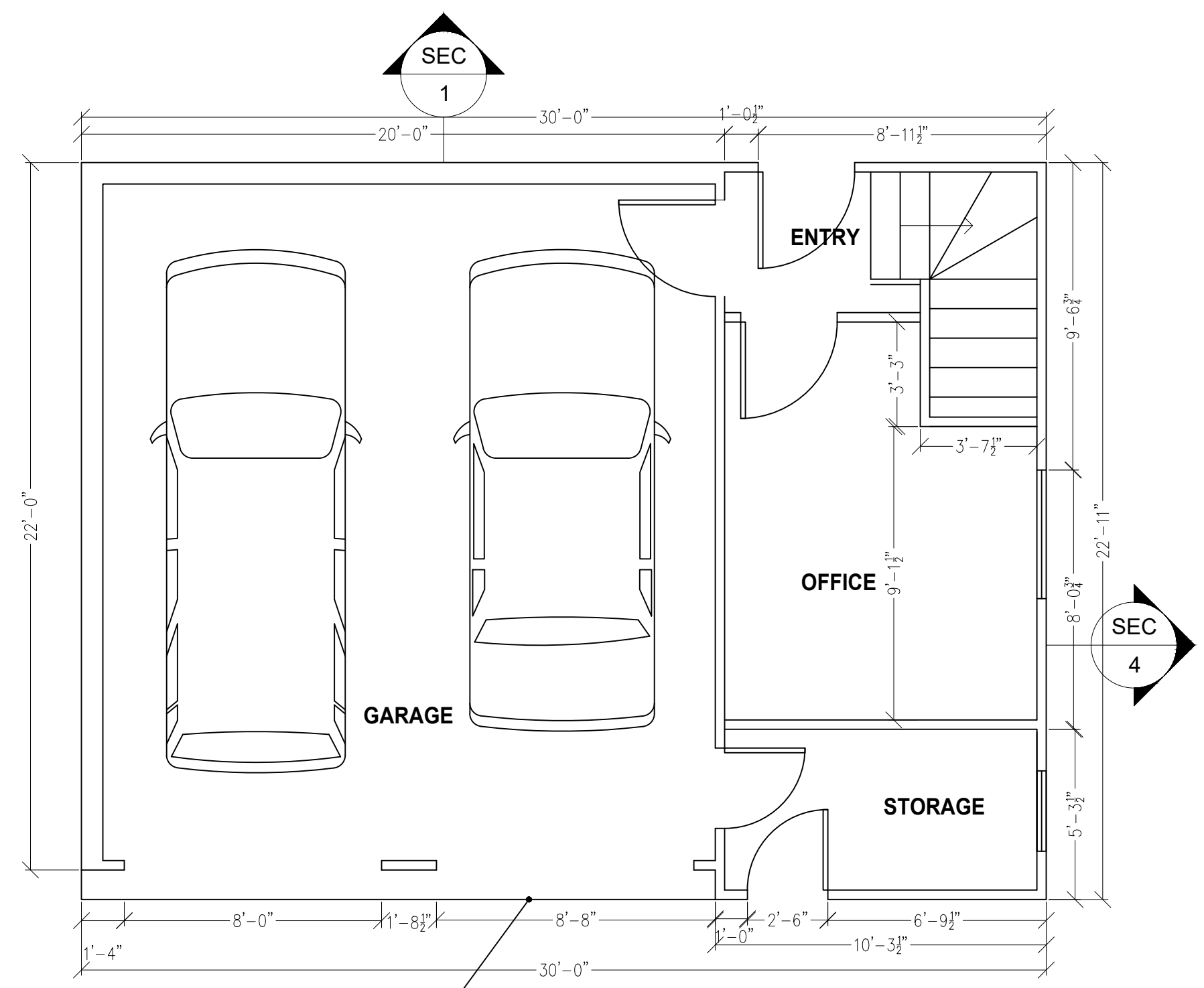
AREA CALCULATION

SCALE: 1/8" = 1'-0"



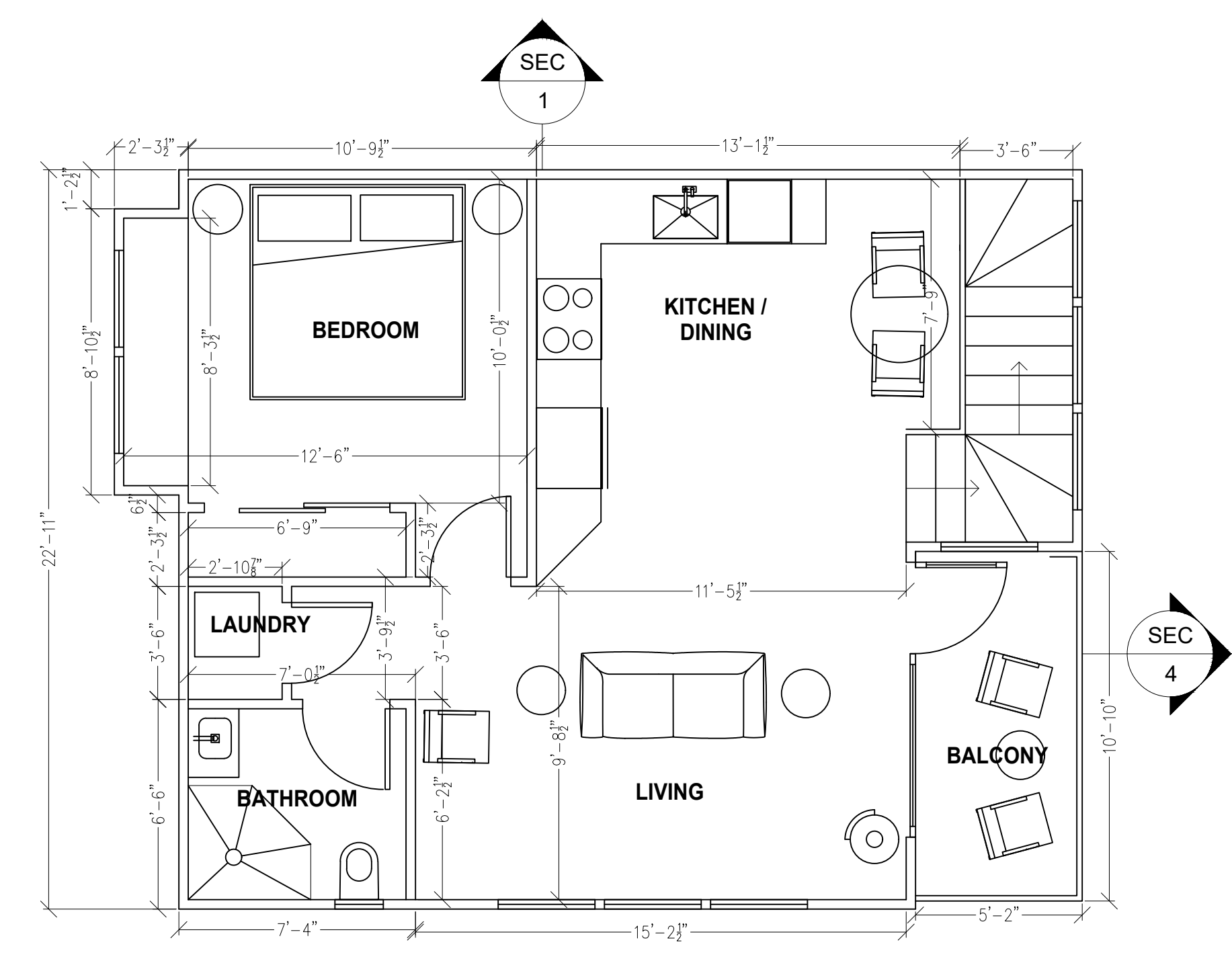
FLOOR PLAN

SCALE: 1/4" = 1'-0"



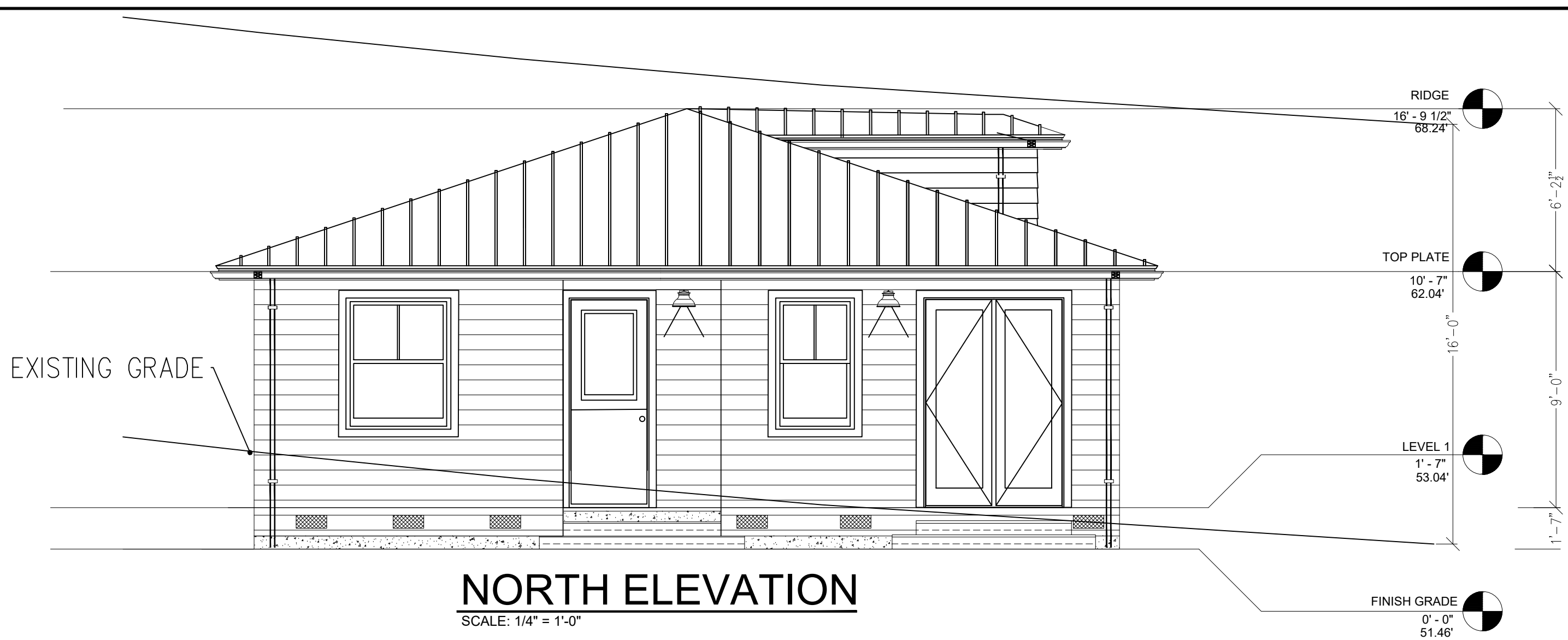
LEVEL 1 GARAGE/ADU FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEVEL 2 ADU FLOOR PLAN

SCALE: 1/4" = 1'-0"



REVISIONS	DATE	BY
WINDOW CHANGE	1/15/2020	DM



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COHN RESIDENCE

THE ALAMEDA
EL GRANADA, CA.

SHEET TITLE:
**HOUSE
ELEVATIONS**

SCALE: AS NOTED
DATE: 01-15-2020

SHEET NO.
A-2

REVISIONS	DATE	BY
WINDOW CHANGE	1/15/2020	DM



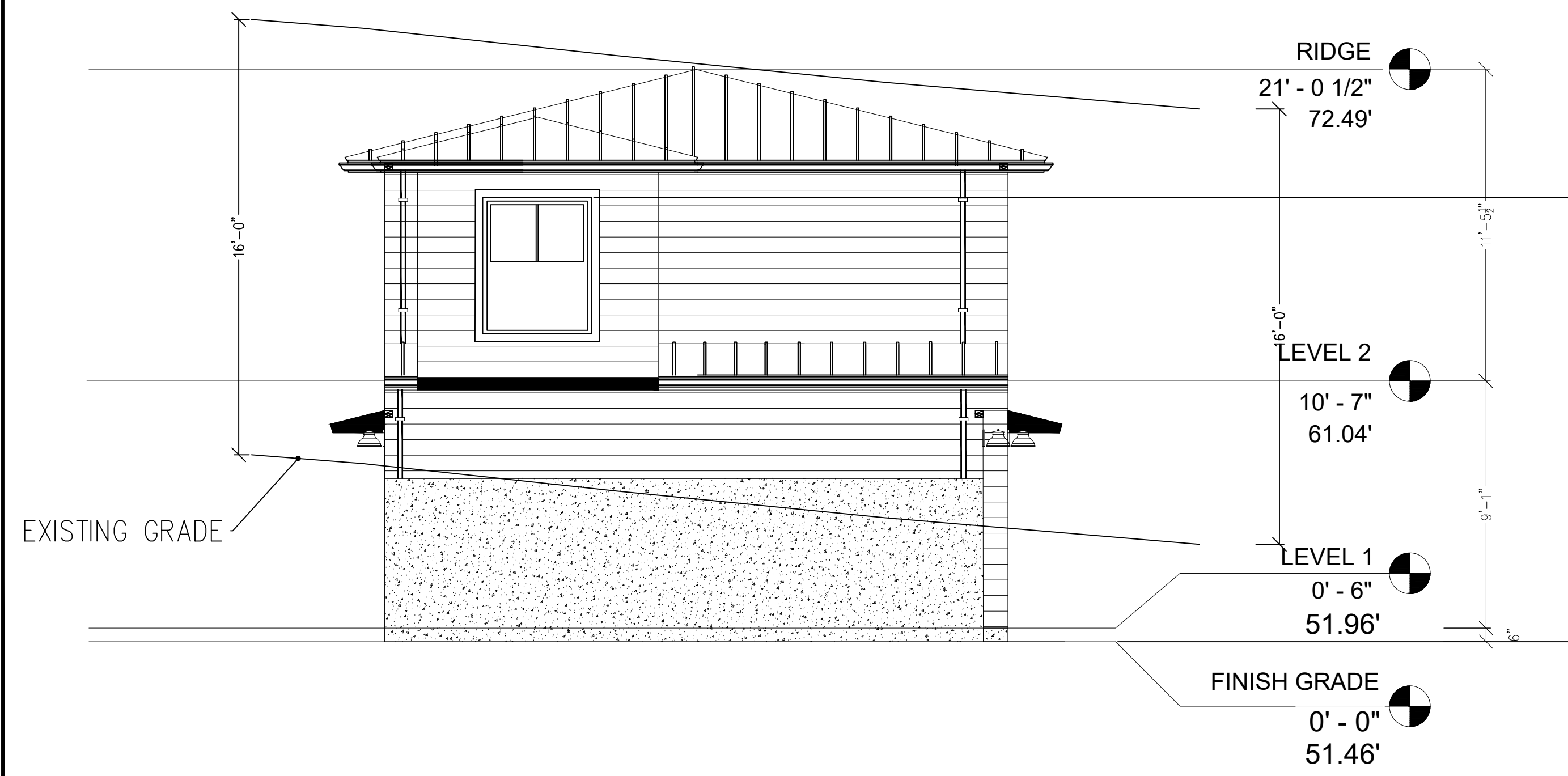
DOUG MACHADO
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650-726-1408
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SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"

COHN RESIDENCE

THE ALAMEDA
EL GRANADA, CA.

SHEET TITLE:
**GARAGE & ADU
ELEVATION**

SCALE: AS NOTED
DATE: 01-15-2020

SHEET NO.
A-3

REVISIONS	DATE	BY
WINDOW CHANGE	1/15/2020	DM



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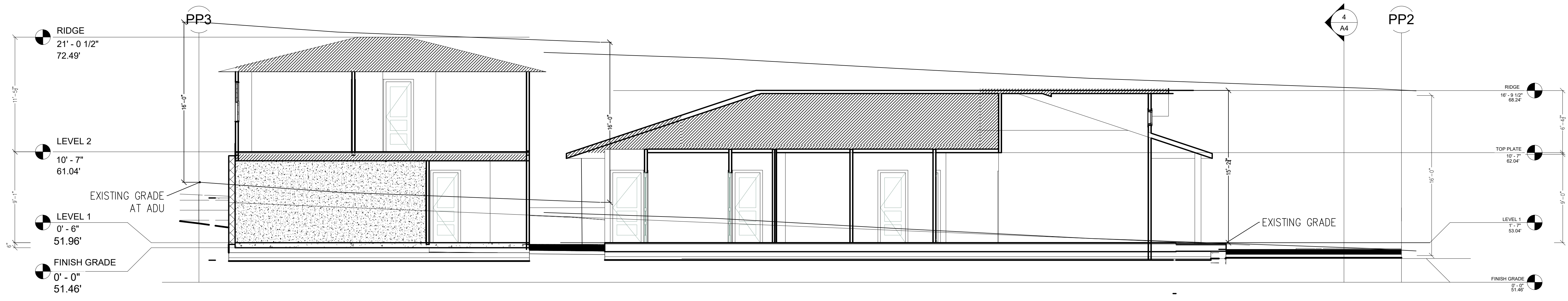
COHN RESIDENCE

THE ALAMEDA
EL GRANADA, CA.

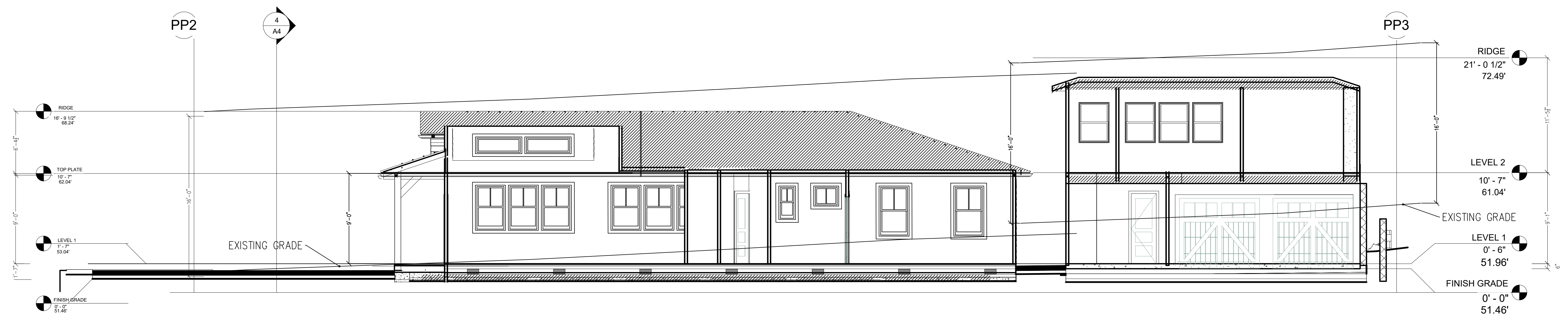
SHEET TITLE:
**SECTIONS
1 & 2**

SCALE: AS NOTED
DATE: 01-15-2020

SHEET NO.
A-4



SECTION 1
SCALE: 3/16" = 1'-0"



SECTION 2
SCALE: 3/16" = 1'-0"

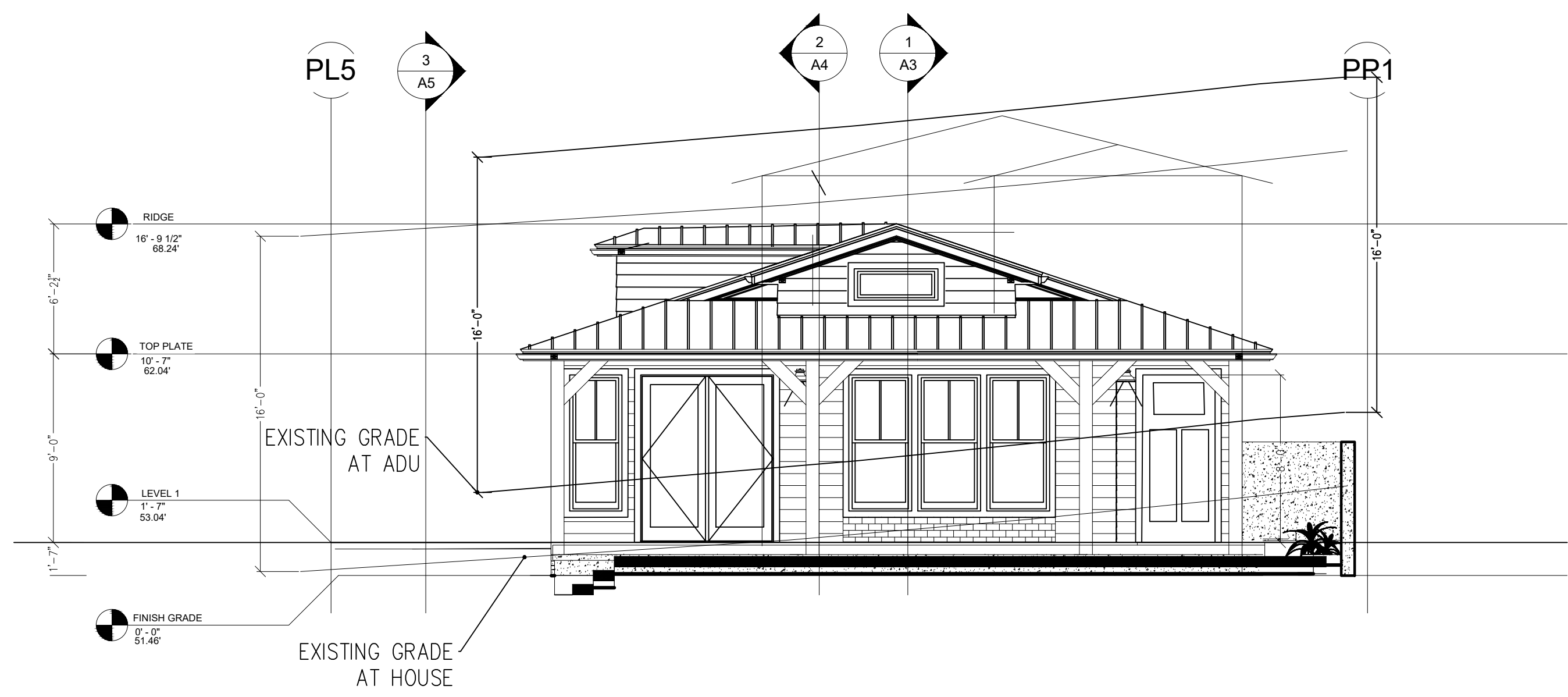
REVISIONS	DATE	BY
WINDOW CHANGE	1/15/2020	DM



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SECTION 3
 SCALE: 3/16" = 1'-0"



SECTION 4
 SCALE: 3/16" = 1'-0"

COHN RESIDENCE

THE ALAMEDA
 EL GRANADA, CA.

SHEET TITLE:
**SECTIONS
 4 & 5**

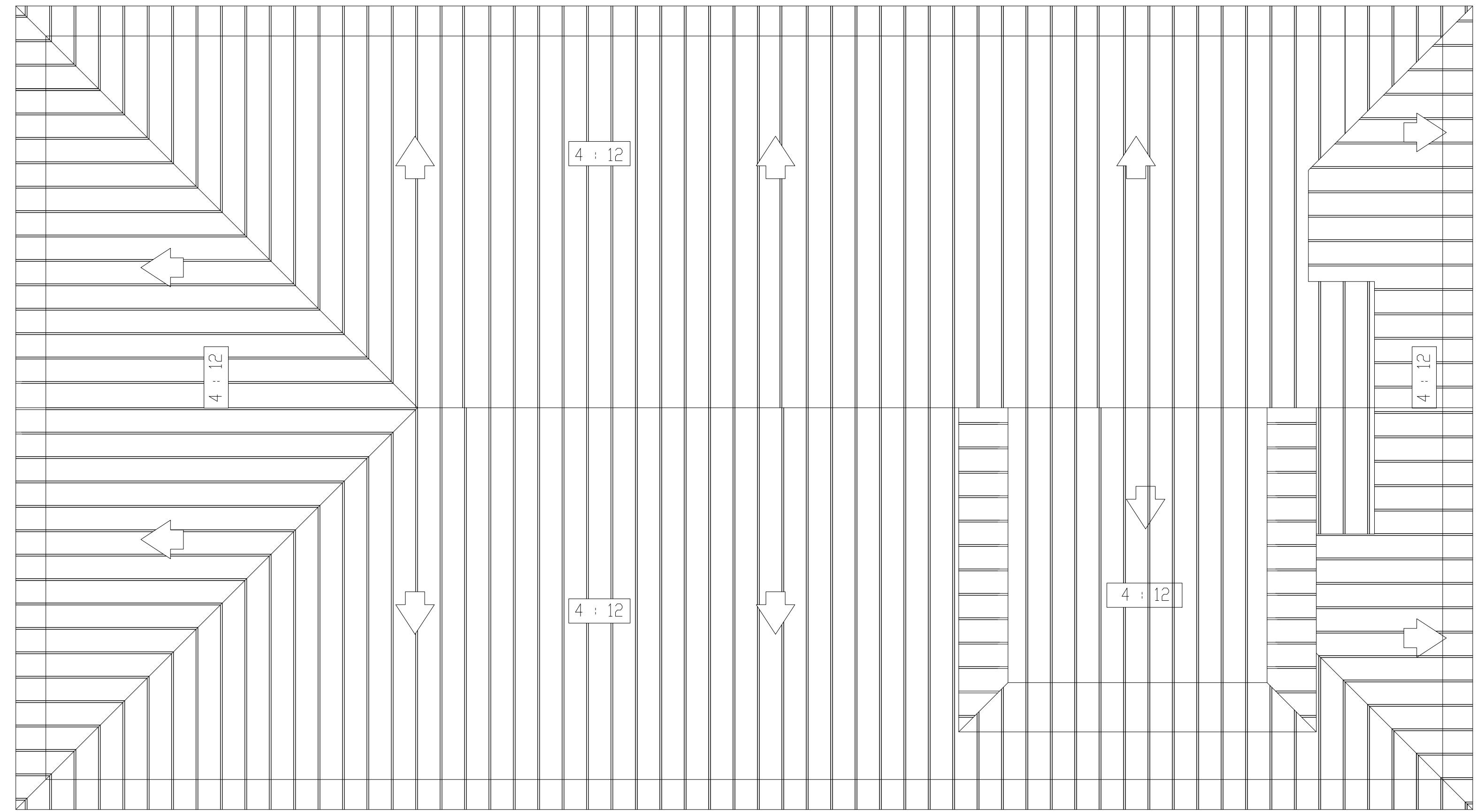
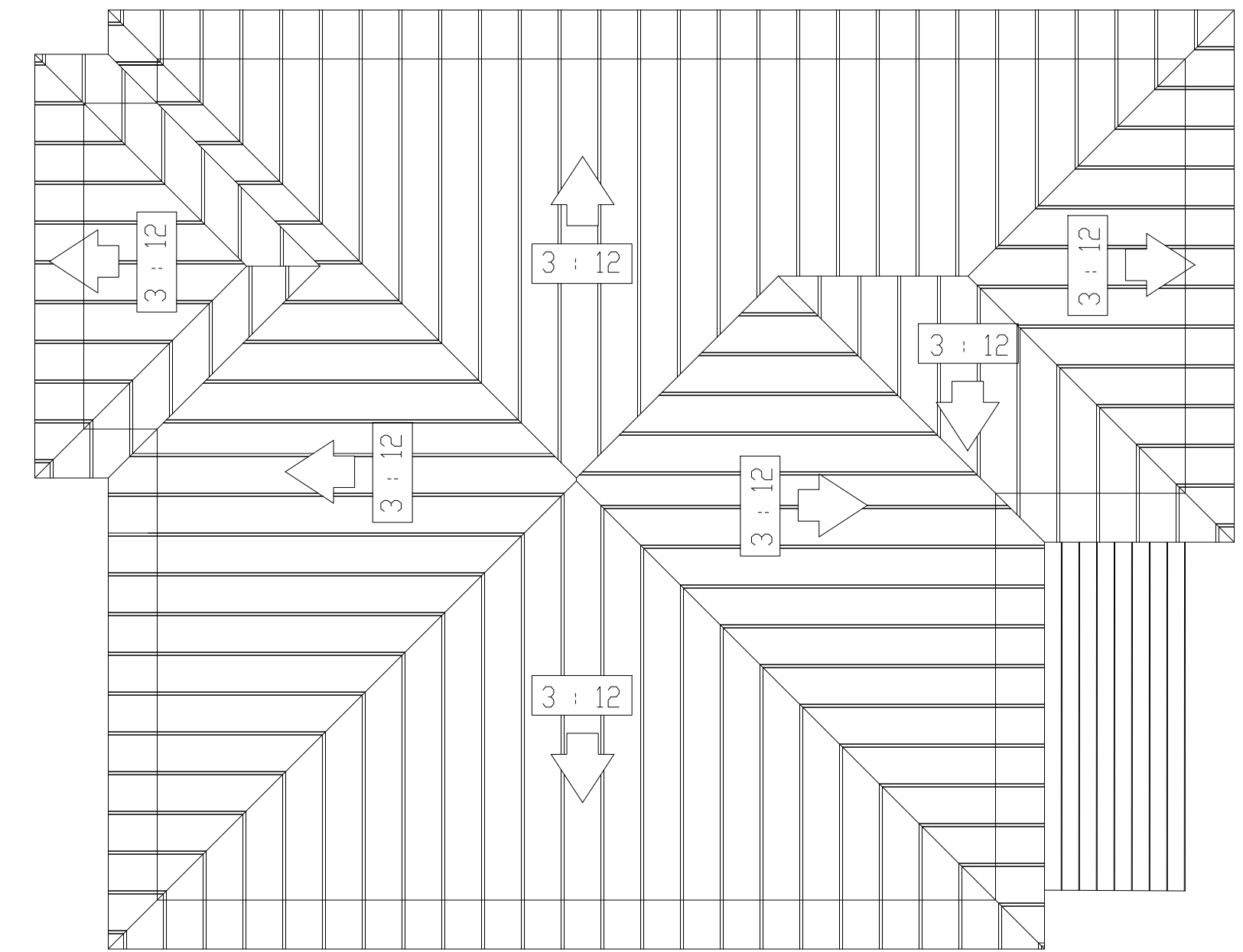
SCALE: AS NOTED
 DATE: 01-15-2020

SHEET NO.
A-5

REVISIONS	DATE	BY
WINDOW CHANGE	1/15/2020	DM



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ROOF PLAN
 SCALE: 1/4" = 1'-0"

COHN RESIDENCE

THE ALAMEDA
 EL GRANADA, CA.

SHEET TITLE:

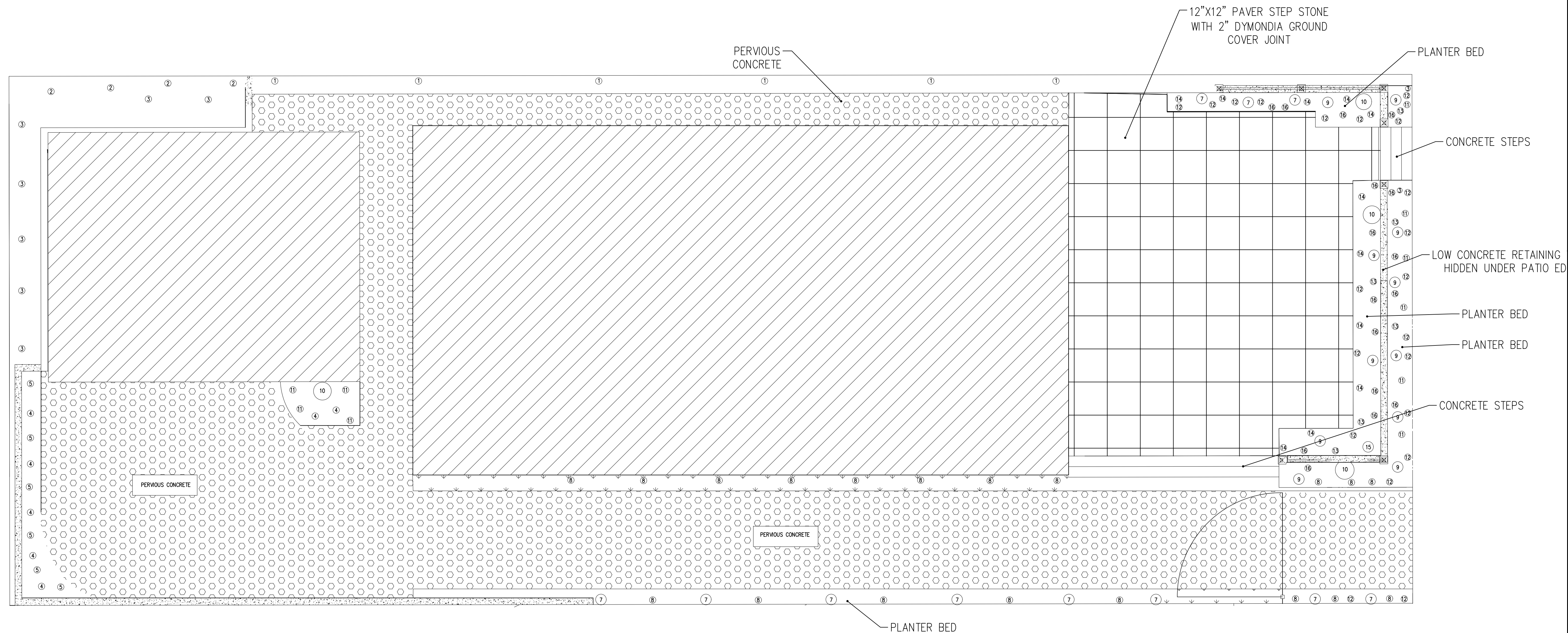
ROOF PLAN

SCALE: AS NOTED

DATE: 01-15-2020

SHEET NO.

A-6



PLANT LIST

BOTANICAL NAME	QTY	SIZE
1-ROSMARINUS PROSTRATUS	18	1 GAL
2-PEROVSKIA ATRIPLIOIFOLIA "BLUE SPIRE"	12	1 GAL
3-MYOPORUM PARVIFOLIUM "PUTAH CREEK"	18	4 INCH
4-PHORMIUM TENAX "THUMBELINA"	12	1 GAL
5-DYMONDIA MARGARETAE	18	FLAT
7-DISTICTUS LAXIFLORA	18	5 GAL
8-LIRIOPE MUSCARI (SPICATA) "SILVER DRAGON"	27	1 GAL
9-EUPHORBIA CHARACIAS "WULFENII"	12	5 GAL
10-PHEONIX REOBELNII	3	15 GAL
11-LIRIOPI MUSCARI "SILVER SUNPROOF"	24	1 GAL
12-SEDUM SPURIUM "RED CARPET"	24	1 GAL
13-SANTOLINA CHAMAECYPARISSUS "LEMON QUEEN"	12	1 GAL
14-BERGENIA CRASIFOLIA	10	1 GAL
15-PHORMIUM TENAX "MAURI QUEEN"	1	5 GAL
16-SALVIA X SYLVESTRIS "MANACHT"	5	1 GAL

NOTES: ALL PLANTING AREAS TO HAVE A MINIMUM OF 3" OF MULCH.
ALL PLANTS TO BE HAND WATERED UNTIL ESTABLISHED.

LANDSCAPE PLAN

SCALE: 3/16" = 1'-0"

REVISIONS	DATE	BY



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COHN RESIDENCE

THE ALAMEDA
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SHEET TITLE:
LANDSCAPE PLAN

SCALE: AS NOTED
DATE: 01-05-2020

SHEET NO.
L-1